

**GFA DEFINITION:**  
 According to Standard Instrument – Principal Local Environmental Plan  
 Cross Floor Area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes—  
 (a) the area of a mezzanine, and  
 (b) habitable rooms in a basement or an attic, and  
 (c) any shop, auditorium, cinema, and the like, in a basement or attic, but excludes—  
 (d) any area for common vertical circulation, such as lifts and stairs, and  
 (e) any basement—  
 (i) storage, and  
 (ii) vehicular access, loading areas, garbage and services, and  
 (f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and  
 (g) car parking to meet any requirements of the consent authority (including access to that car parking), and  
 (h) any space used for the loading or unloading of goods (including access to it), and  
 (i) terraces and balconies with outer walls less than 1.4 metres high, and  
 (j) voids above a floor at the level of a storey or storey above.

DEVELOPMENT SUMMARY	
GROSS LAND AREA	320,258m <sup>2</sup>
ROAD AREA (24M WIDE)(TBC)	20,379m <sup>2</sup>
ALDINGTON ROAD WIDENING	1285m <sup>2</sup>
NETT DEVELOPABLE AREA	298,594m <sup>2</sup>

STORMWATER DETENTION BASIN (WITHIN LOT 4)	9,721m <sup>2</sup>
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SITE AREA (LOT 1)	
WAREHOUSE (GFA)	61,271m <sup>2</sup>
INCL. WAREHOUSE AMENITIES EXCL. LOADING ZONE (3729 m <sup>2</sup> )	
BATTERY CHARGING CHAMBER	850m <sup>2</sup>
OFFICE (2 STOREY)	1,576m <sup>2</sup>
TRANSPORT OFFICE	160m <sup>2</sup>

TOTAL BUILDING AREA (GFA)	63,857m <sup>2</sup>
TOTAL CARS REQUIRED (RMS)	252
WAREHOUSE 1/300m <sup>2</sup> (GFA)	
OFFICE 1/40sqm (GFA)	
TOTAL CARS PROVIDED	300
PERMEABLE CARPARKING	40

SITE AREA (LOT 4)(INCL. OSD)	
WAREHOUSE (GFA)	17,010m <sup>2</sup>
EXCL. LOADING ZONE (1470m <sup>2</sup> ) AND INCL. DOCK OFFICE (100 m <sup>2</sup> )	
OFFICE	450m <sup>2</sup>
TOTAL BUILDING AREA (GFA)	17,460m <sup>2</sup>
TOTAL CARS REQUIRED (RMS)	70
WAREHOUSE 1/300m <sup>2</sup> (GFA)	58.2
OFFICE 1/40sqm (GFA)	11.3
TOTAL CARS PROVIDED	96

SITE AREA (RESIDUAL LOT)	
LAND SUBJECT TO FUTURE DA	144,381m <sup>2</sup>

NOTE:  
 PP: Permeable Paving Carparking



**KEY LEGEND**

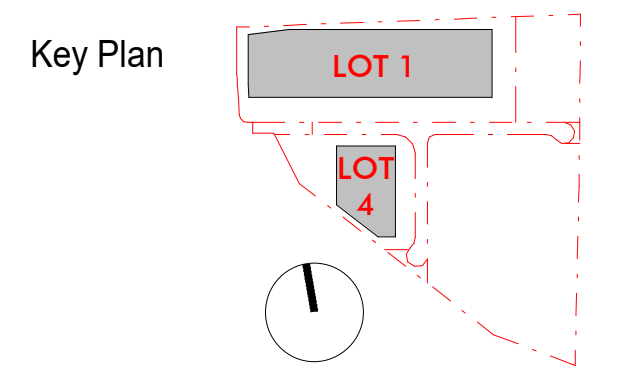
RL	PROPOSED LEVEL
P	PUMP ROOM
S/T	SPRINKLER TANK
FSA	FIRE STANDING AREA
COL	COLUMN
	CARPARKING - PERMEABLE PAVING
	CARPARKING - CONCRETE / BITUMEN



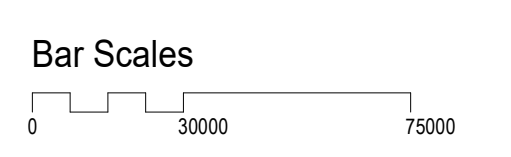
Issue	Description	Date
P20	ISSUE FOR REVIEW	15.02.2023
P19	ISSUE FOR COORDINATION	13.02.2023
P18	ISSUE FOR REVIEW	08.02.2023
P17	ISSUE FOR REVIEW	07.02.2023
P16	ISSUE FOR REVIEW	06.02.2023
P15	ISSUE FOR COORDINATION	30.01.2023
P14	ISSUE FOR SSDA	05.12.2022
P13	ISSUE FOR INFORMATION	18.10.2022
P12	ISSUE FOR SSDA	19.10.2022
P11	ISSUE FOR SSDA	06.10.2022
P10	ISSUE FOR SSDA	30.09.2022
P9	ISSUE FOR SSDA	21.09.2022
P8	ISSUE FOR SSDA	08.09.2022
P7	ISSUE FOR INFORMATION	02.09.2022
P6	ISSUE FOR SSDA	29.08.2022

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**SSD APPROVAL**



Project Name  
**Westlink**  
 Project Address  
**Mamre Road, Kemps Creek**



Drawing Title:  
**Estate Plan - Stage 1**

Author: BC/HS MA A1  
 Checker: MA A1  
 Issue: P20

Drawing Number:  
**12587\_DA102**

