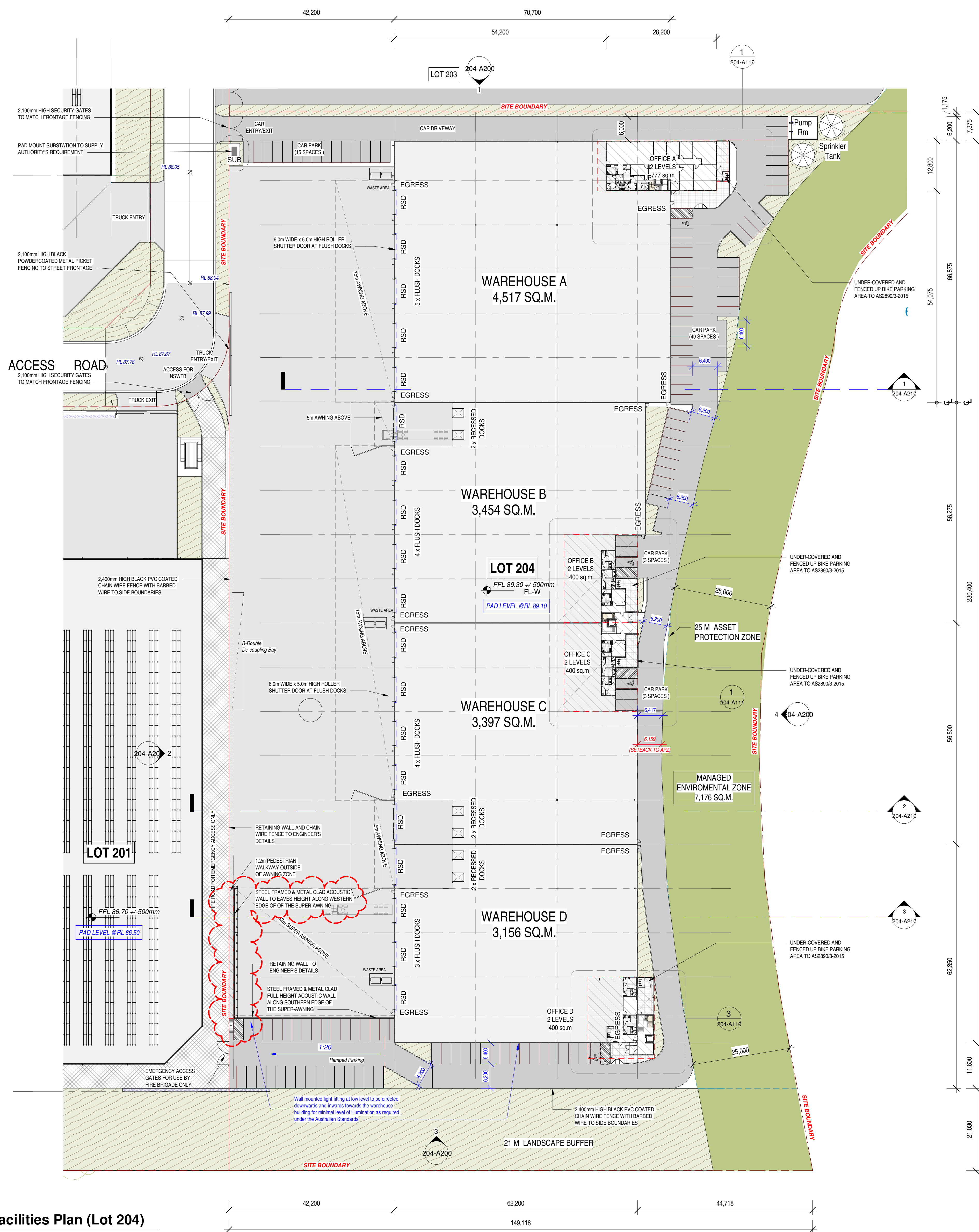


**DEVELOPMENT SUMMARY (LOT 204)**

SITE AREA (APZ included - 7,166 sqm)	40,060 sqm
EFFICIENCY	41.36 %
WAREHOUSE A	4,517 sqm
OFFICE A (2 LEVELS)	777 sqm
WAREHOUSE B	3,454 sqm
OFFICE B (2 LEVELS)	400 sqm
WAREHOUSE C	3,397 sqm
OFFICE C (2 LEVELS)	400 sqm
SHARED LOBBY	78 sqm
WAREHOUSE D	3,156 sqm
OFFICE D (2 LEVELS)	400 sqm
TOTAL BUILDING AREA	16,579 sqm
AWNING (5m)	172sqm
AWNING (15m)	2,215 sqm
AWNING (42m)	1370sqm
CAR PARKING PROVIDED	117 Spaces
HEAVY DUTY PAVEMENT (H)	9,220 sqm
LIGHT DUTY PAVEMENT (L)	4,970 sqm

**Parking Schedule (Lot 204)**

Type	Description	Count
PK-CP1	PK-CP1-5500 x 2500mm - (Disable)	20
PK-CP2	PK-CP2-5500 x 2500mm - 90 deg	95
Grand total		118



**1 Site Facilities Plan (Lot 204)**  
1: 500 @B1

12/02/2024 11:02:00 PM C:\Users\hrc\OneDrive\Horsley Park\Development\APPLICATIONS\202226\202226 327-335 Burley Rd Horsley Park\CD DEVELOPMENT APPLICATION\202226\202226\_SSDA Amendment.rvt  
 2024/06/11 11:02:00 PM



PROJECT MANAGER  
 PROJECT: ESR HORSLEY LOGISTIC PARK  
 ADDRESS: 327-335 BURLEY ROAD, HORSLEY PARK NSW  
 PROJECT NUMBER: 200226

Rev	Description	Date
A	Development Application Issue	22.06.20
B	Development Application Issue	20.10.20
C	Acoustic extended along western edge of Lot 204 WH-D Hardstand.	12.02.21

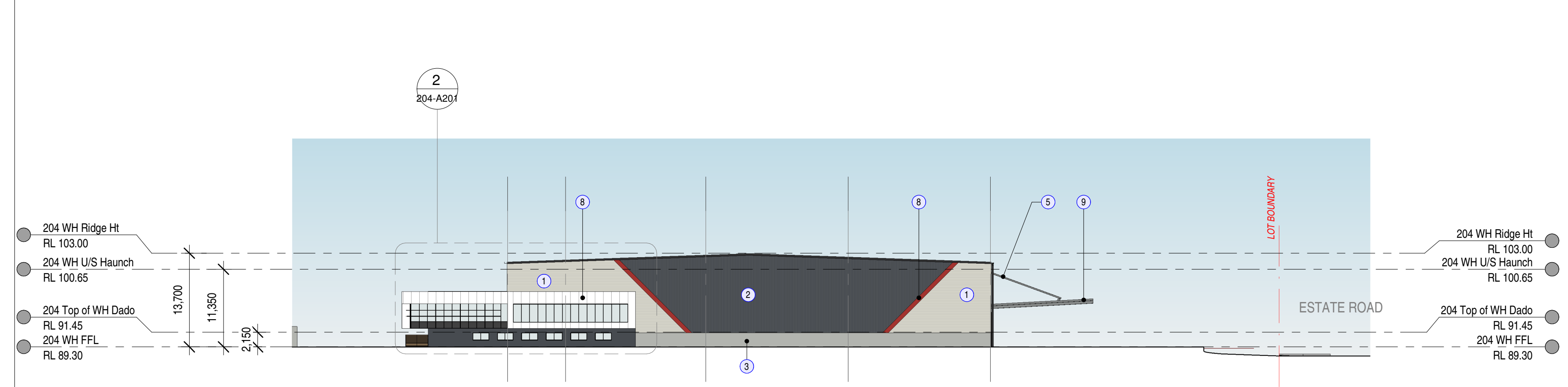
HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.  
 General Notes:  
 Architectural drawings to be read in conjunction with all other consultants' detailed drawings, specifications & reports.  
 Do not scale this drawing. Verify all dimensions on site.  
 Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320  
 nominated architect: KIM HOANG (LAI)  
 (Reg No. NSW #1559; QLD #6203; TAS #1101)  
 1 admin@hlarchitects.com.au  
 2 02 9166 9942  
 3 0424 160 365  
 4 www.hlarchitects.com.au  
 5 Suite S3, 9 George St, North Strathfield NSW 2157

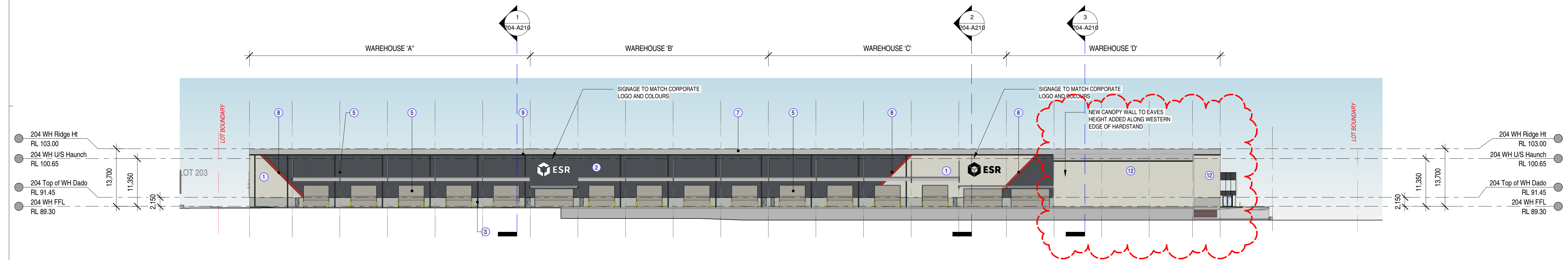


**DEVELOPMENT APPLICATION**

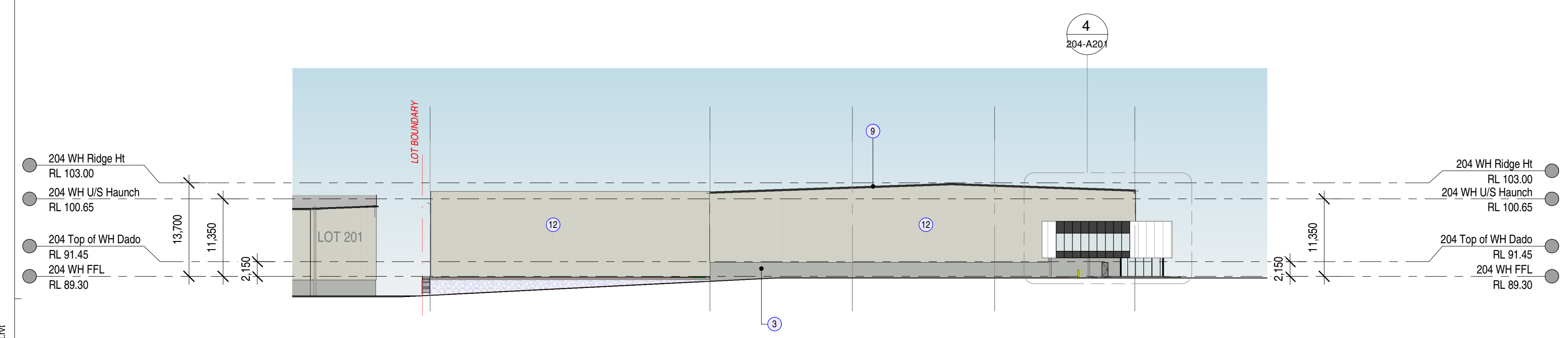
DRAWING TITLE: LOT 204 SITE & FACILITY PLAN  
 DRAWING NUMBER: 200226 - DA - 204-A100  
 ISSUE: C



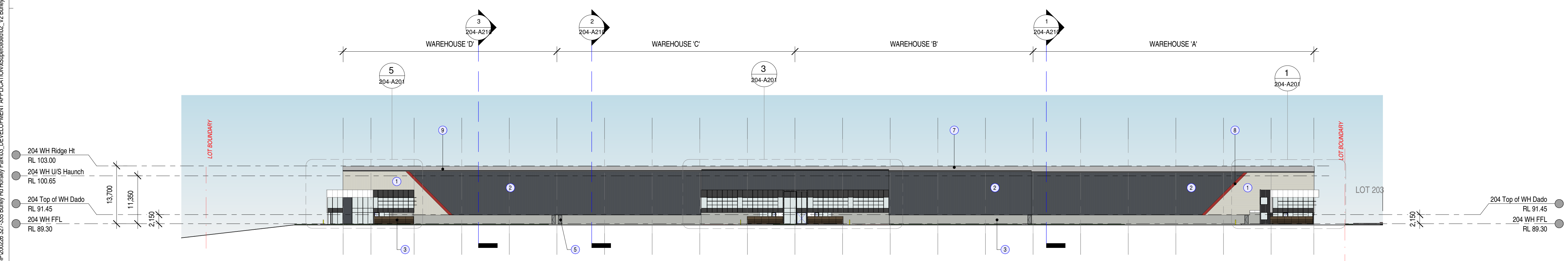
**1 Lot 204 North Elevation (WH A)**  
203-A100 1:500 @ B1



**2 Lot 204 Western Elevation (Warehouse A & B)**  
203-A110 1:500 @ B1



**3 Lot 204 South Elevation (WH B)**  
201-A100 1:500 @ B1



**4 Lot 204 Eastern Elevation (Warehouse A & B)**  
204-A100 1:500 @ B1

WAREHOUSE EXTERNAL FINISHES	
1	PRE-FINISHED METAL CLADDING - COLORBOND SURFMIST HORIZONTAL SPAN
2	PRE-FINISHED METAL CLADDING - COLORBOND IRONSTONE
3	PRECAST CONCRETE - PAINT FINISH TO MATCH COLORBOND SHALE GREY
4	FLUSHED DOOR ROLLER SHUTTER DOOR - PAINT FINISH TO MATCH COLORBOND DUINE
5	LOADING DOOR ROLLER SHUTTER DOOR/EGRESS DOOR - AWNING STRUTS - PAINT FINISH TO MATCH COLORBOND WINDSPRAY
6	WATER TANKS - COLORBOND IRONSTONE
7	ZINCALUME ROOF SHEETING WITH 10% TRANSLUCENT SHEETING
8	METAL CLADDING TRIM - COLOUR TO MATCH DUALUX MADONNELL RANGES R89
9	DOWNPIPES WAREHOUSE GUTTERS FASCIAS & BARGE COVER - COLORBOND MONUMENT
10	PRECAST CONCRETE - PAINT FINISH TO MATCH COLORBOND IRONSTONE
11	PRECAST CONCRETE WING WALL - PAINT FINISH TO MATCH COLORBOND SURFMIST
12	PRE-FINISHED METAL CLADDING - COLORBOND SURFMIST VERTICAL SPAN

**DEVELOPMENT APPLICATION**



PROJECT MANAGER  
PROJECT: ESR HORSLEY LOGISTIC PARK  
ADDRESS: 327-335 BURLEY ROAD, HORSLEY PARK NSW  
PROJECT NUMBER: 200226

Rev	Description	Date
A	Development Application Issue	22.06.20
B	Development Application Issue	20.10.20
C	Acoustic extended along western edge of Lot 204 WH-D Hardstand.	12.02.21

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.  
General Notes:  
Architectural drawings to be read in conjunction with all other consultants' detailed drawings, specifications & reports.  
Do not scale this drawing. Verify all dimensions on site.  
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320  
nominated architect: Koi Hong LU  
(Reg No. NSW #1559, QLD #6203, TAS #1101)  
e admin@hlarchitects.com.au  
t 02 9166 9942  
m 0424 160 365  
www.hlarchitects.com.au  
Suite S3, 9 George St, North Strathfield NSW 2137



DRAWING TITLE: LOT 204 WAREHOUSE ELEVATIONS  
DRAWING NUMBER: 200226 - DA - 204-A200  
DRAWN: AB  
CHK: HL  
ISSUE: 1

12/02/2021 11:21 PM C:\Users\hond\OneDrive\HL\WORK\CP\200226\202-335 Burley Park\Development\APP\LOT204\204-A200\204-A200.dwg (attached\_SSD) (unlocked)