

09 April 2025

**ESR Australia & New Zealand**

Level 12, 135 King Street  
Sydney 2000 NSW

Attention: Grace Macdonald

**RE: Perimeter Vehicular Access Provisions – 3 Johnston Crescent, Horsley Park (SSD-71144719)**

Affinity have been requested by ESR to provide further detail on the fire brigade perimeter access provisions around the northern side of the site. Specifically, request has been made for Affinity to clarify the extent of the non-compliance taking into consideration current and future site conditions, and to provide confirmation of precedence of similar arrangements that have gained approval from Fire + Rescue NSW (FRNSW).

### Defining the Extent of Non-Compliance

The initial location of the perimeter access road around the northern side of the site is 36m away from Warehouse A façade, and exceeds the BCA limitation of 18m.

This arrangement is however only temporary due to the future road widening. When this is completed the perimeter access road setback will be reduced to only 21m.

It is also worth highlighting that within the 21m setback zone, specifically between the retaining wall and Johnston Crescent, the future road expansion will include a 3.5m wide concrete footpath and bicycle path that could be designed to cater for FRNSW appliances loading if necessary. This could be used by fire fighter appliances to stage their appliances within 21m of the building.

The future setback distance is illustrated in Figure A for clarity to show the setback distance after the road widening and the location of the future footpath and bicycle pathway.

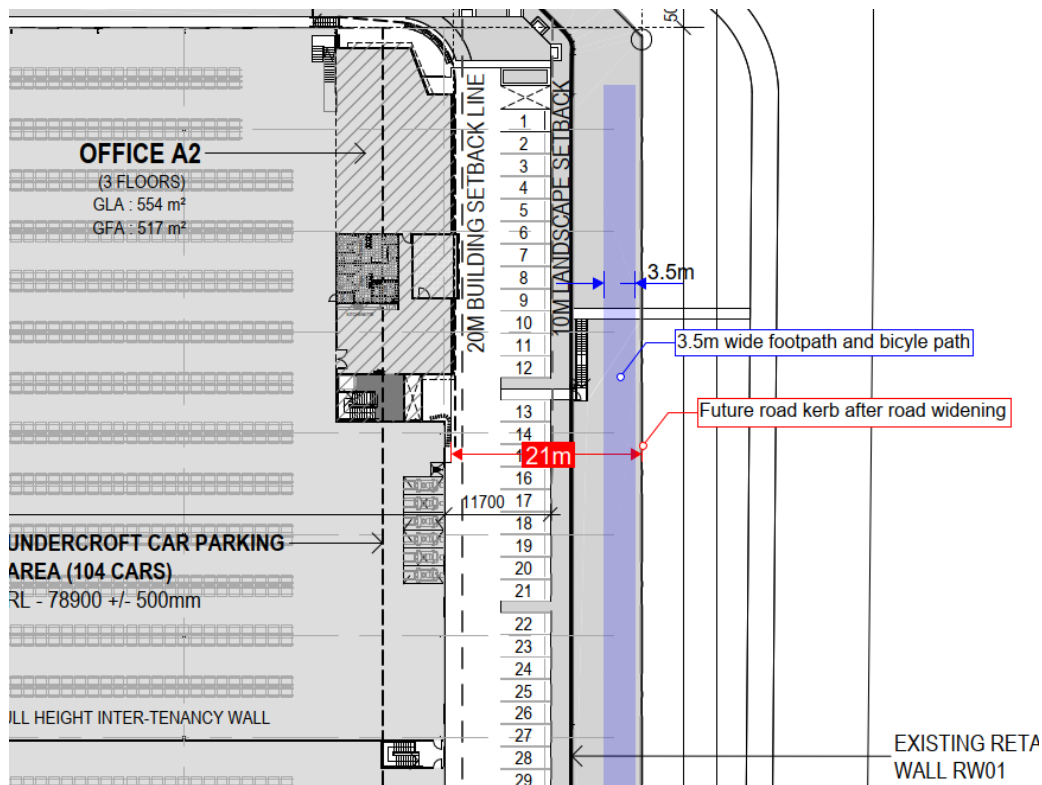


Figure-B: Detail of the Current and Future Setback Distances for the Northern Perimeter Access Road

### Fire + Rescue NSW Approval Defining the Extent of Non-Compliance

The perimeter access road around the northern side of the site deviates from the BCA Deed-to-Satisfy (DtS) provisions due to the setback distance defined above. From our experience on similar industrial warehouse facilities in NSW, we are confident that FRNSW will approve the northern perimeter access road given the provisional access stairs incorporated into the design.

As example of our past experience, and recent precedence of similar designs which have gained FRNSW approval, below are three (3) examples along Johnston Crescent in Horsley Park with similar perimeter access road arrangements and setback distances.

- **2A Johnston Cr, Horsley Park** (William Sonoma)
  - FRNSW engagement completed by Affinity Fire Engineering.
  - Perimeter Access Road along Johnston Cr is 32m from the building.
- **4 Johnston Cr, Horsley Park** (Nu-Pure Beverages)
  - FRNSW engagement completed by Affinity Fire Engineering.
  - Perimeter Access Road along Johnston Cr is 34m from the building.
- **12 Johnston Cr, Horsley Park** (Fienza Sydney)
  - FRNSW engagement completed by Affinity Fire Engineering.
  - Perimeter Access Road along Johnston Cr is 55m from building (at the corners only).



Figure-B: Aerial View of 2A (above) and 4 (below) Johnston Crescent, Horsley Park

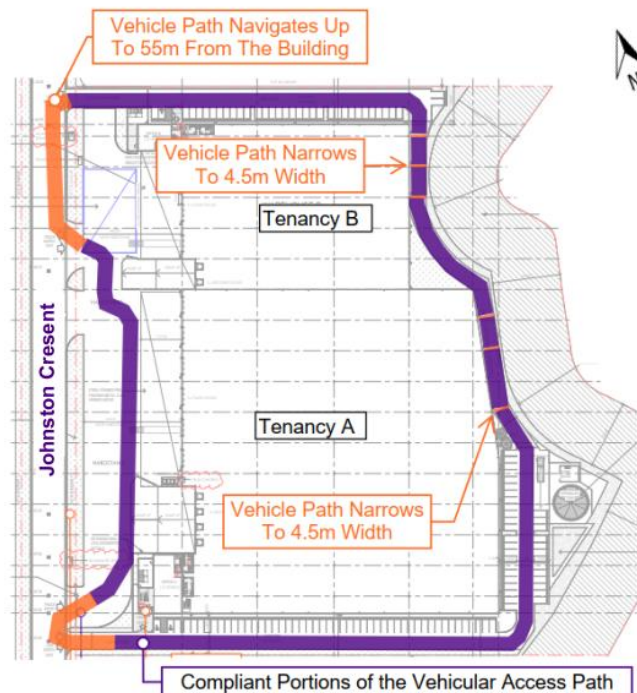


Figure-C: Extract from Fire Engineering Report - 12 Johnston Cr, Horsley Park (aerial image unavailable)



## Conclusion

I trust the above assists in providing confidence in the subject design. Should any further information or details be required for a determination to be made please contact the undersigned on 02 9194 0590.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Thomas Newton', with a long horizontal flourish extending to the right.

**Thomas Newton**

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