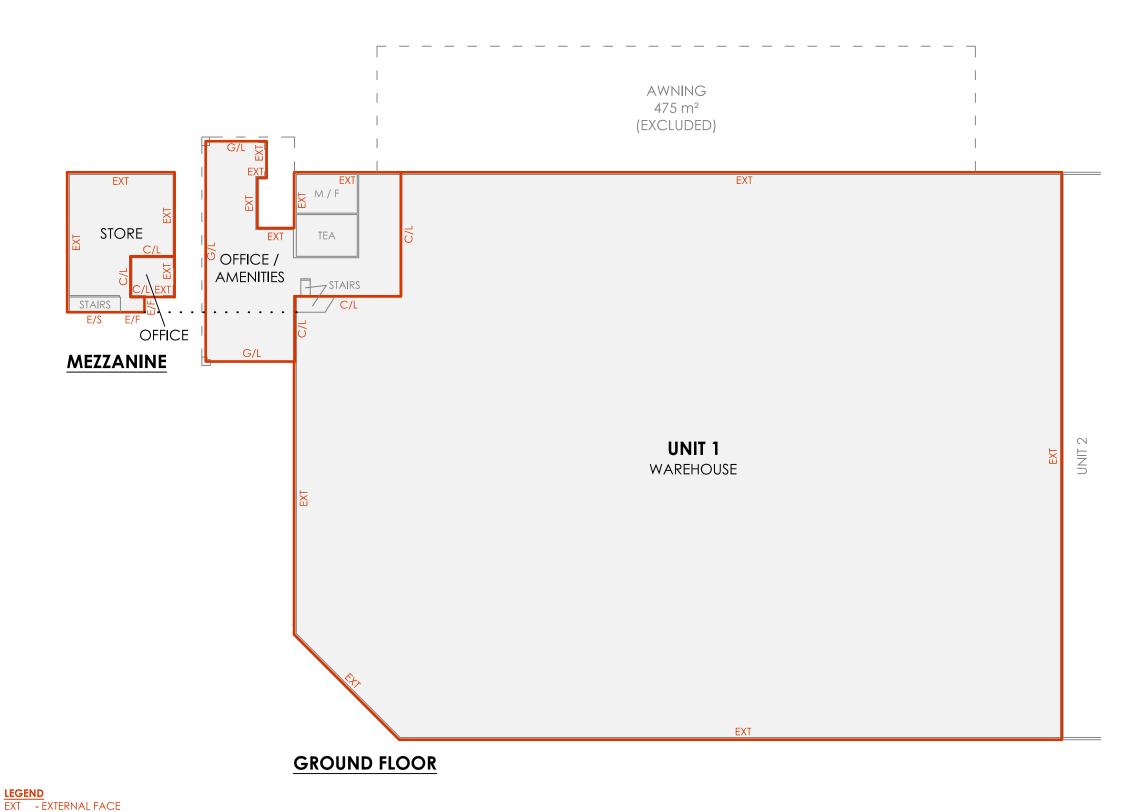


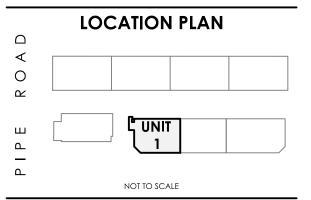
SUMMARY OF AREAS		
UNIT	SHEET	LETTABLE AREAS
UNIT 1	(SHEET 2)	2,904.6 m ²
UNIT 2	(SHEET 3)	2,743.4 m ²
UNIT 3	(SHEET 4)	3,469.3 m ²
UNIT 4	(SHEET 5)	3,514.1m ²
UNIT 5	(SHEET 6)	3,502.8 m ²
UNIT 6	(SHEET 7)	3,496.1m ²
UNIT 7	(SHEET 8)	3,511.8 m ²
UNIT 9	(SHEET 9)	2,756.3 m ²
TOTAL AREA		25,898.4 m ²

CLIENT:

1 OF 9







UNIT 1
GROUND FLOOR
WAREHOUSE 2,625.4 m²
OFFICE/AMENITIES 188.6 m²
MEZZANINE
STORE 79.3 m²
OFFICE 11.3 m²



TOTAL AREA

THE LETTABLE AREA IS SHOWN ENCLOSED BY CONTINUOUS LINES

METHOD OF MEASUREMENT

AREAS HAVE BEEN CALCULATED IN ACCORDANCE AND UNDER INTERPRETATION OF THE PROPERTY COUNCIL OF AUSTRALIA (PCA) METHOD OF MEASUREMENT FOR LETTABLE AREA (2008)

(SURVEY DATE 12/04/2022)

GROSS LETTABLE AREA

ALL PARTIES USING THE AREAS EXPRESSED HEREIN, SHOULD AGREE WITH THE BOUNDARY DEFINITIONS, THIS PLAN WAS PRODUCED FOR THE CALCULATION OF FLOOR AREAS ONLY

0 5 10 15 1 1 1 1 1 SCALE 1:300

C/L - CENTRELINE WALL
G/L - GLASS LINE
E/F - EDGE OF FLOOR
E/S - EDGE OF STAIRS

CLIENT:

ESR

LETTABLE AREA PLAN

UNIT 1, 63 - 69 PIPE ROAD, LAVERTON NORTH, VIC DATE: 26/04/2022

REF: 82058 REV:
DRAWN: LW CHECKED:
SCALE: 1:300 @ A3 SHEET:

2 OF 9

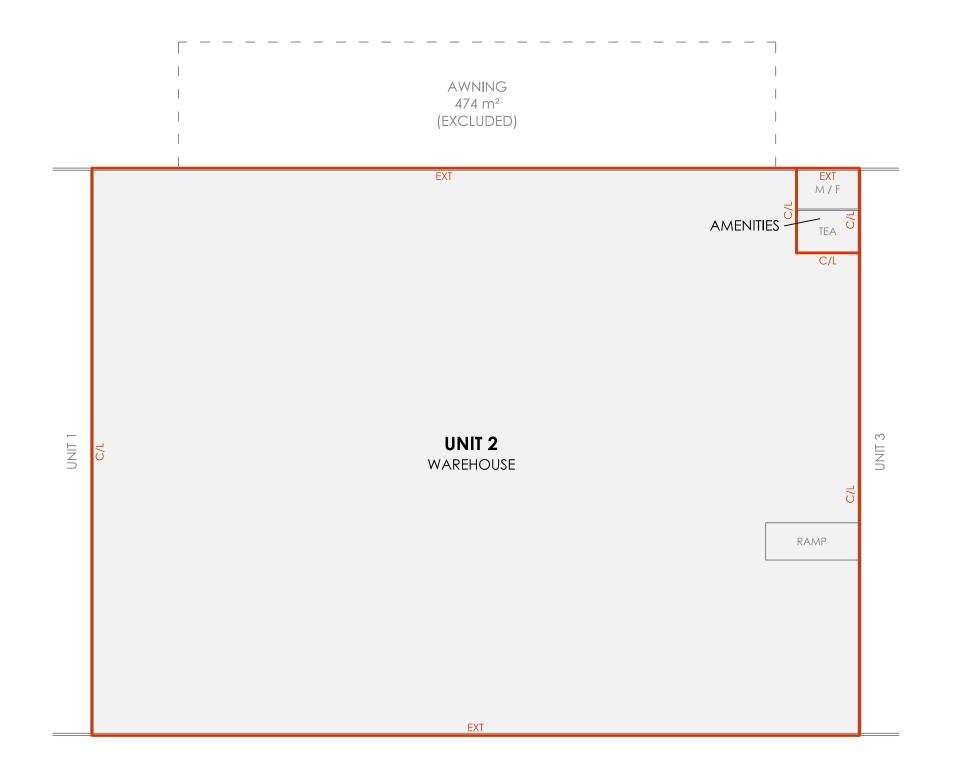
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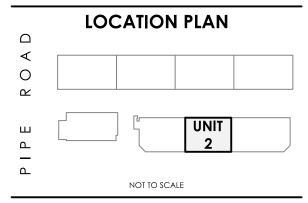
2,904.6 m²

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UNIT 2

 WAREHOUSE
 2,709.7 m²

 AMENITIES
 33.7 m²

 TOTAL AREA
 2,743.4 m²

LETTABLE AREA



THE LETTABLE AREA IS SHOWN ENCLOSED BY CONTINUOUS LINES

METHOD OF MEASUREMENT

AREAS HAVE BEEN CALCULATED IN ACCORDANCE AND UNDER INTERPRETATION OF THE PROPERTY COUNCIL OF AUSTRALIA (PCA) METHOD OF MEASUREMENT FOR LETTABLE AREA (2008)

(SURVEY DATE 12/04/2022)

GUIDELINES USED GROSS LETTABLE AREA

ALL PARTIES USING THE AREAS EXPRESSED HEREIN, SHOULD AGREE WITH THE BOUNDARY DEFINITIONS, THIS PLAN WAS PRODUCED FOR THE CALCULATION OF FLOOR AREAS ONLY

LEGEND

EXT - EXTERNAL FACE
C/L - CENTRELINE WALL

5 10 15 1 1 1 1 SCALE 1:300

CLIENT:

ESR

LETTABLE AREA PLAN
UNIT 2, 63 - 69 PIPE ROAD,
LAVERTON NORTH, VIC

DATE: 26/04/2022

REF: 82058 REV:
DRAWN: LW CHECKED:
SCALE: 1:300 @ A3 SHEET:

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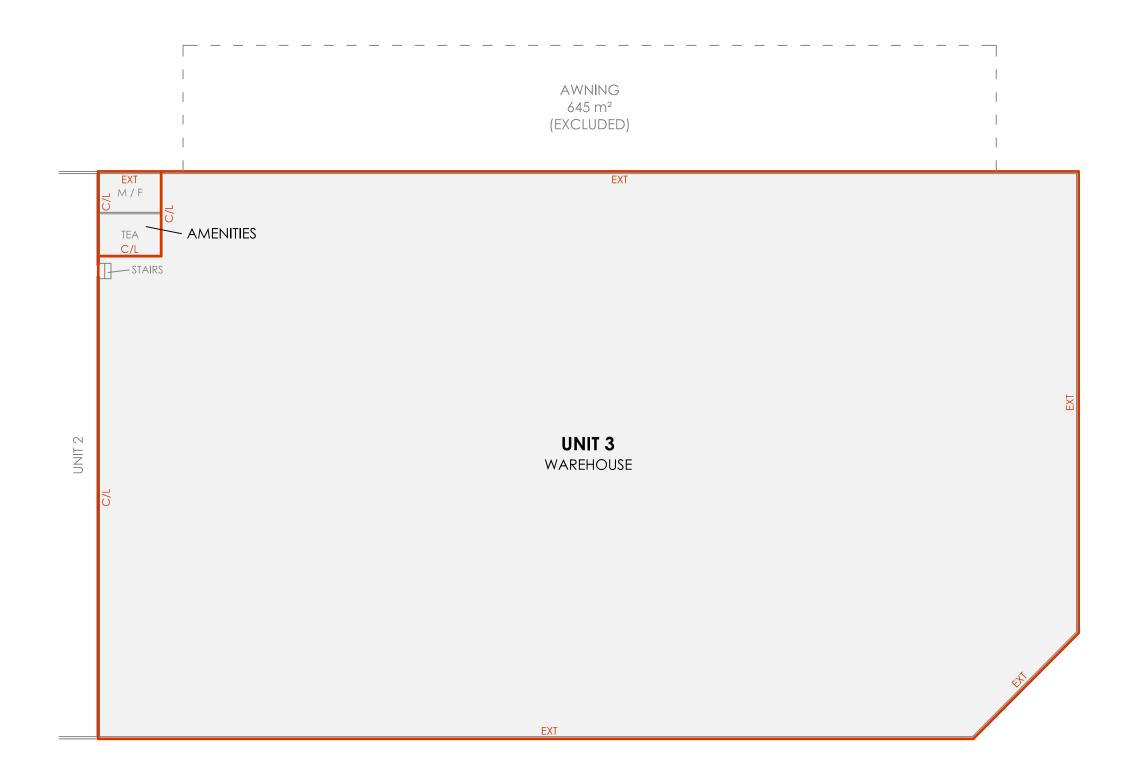
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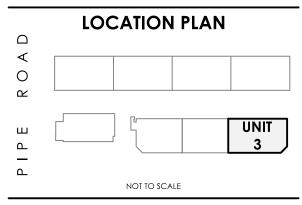
3 OF 9

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UNIT 3

 WAREHOUSE
 3,435.6 m²

 AMENITIES
 33.7 m²

 TOTAL AREA
 3,469.3 m²

LETTABLE AREA



THE LETTABLE AREA IS SHOWN ENCLOSED BY CONTINUOUS LINES

METHOD OF MEASUREMENT

AREAS HAVE BEEN CALCULATED IN ACCORDANCE AND UNDER INTERPRETATION OF THE PROPERTY COUNCIL OF AUSTRALIA (PCA) METHOD OF MEASUREMENT FOR LETTABLE AREA (2008)

(SURVEY DATE 12/04/2022)

GUIDELINES USED GROSS LETTABLE AREA

ALL PARTIES USING THE AREAS EXPRESSED HEREIN, SHOULD AGREE WITH THE BOUNDARY DEFINITIONS, THIS PLAN WAS PRODUCED FOR THE CALCULATION OF FLOOR AREAS ONLY

LEGEND

EXT - EXTERNAL FACE
C/L - CENTRELINE WALL

5 10 15 1 1 1 1 SCALE 1:300

CLIENT:

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LETTABLE AREA PLAN

UNIT 3, 63 - 69 PIPE ROAD, LAVERTON NORTH, VIC DATE: 26/04/2022

REF: 82058 REV:
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SCALE: 1:300 @ A3 SHEET:

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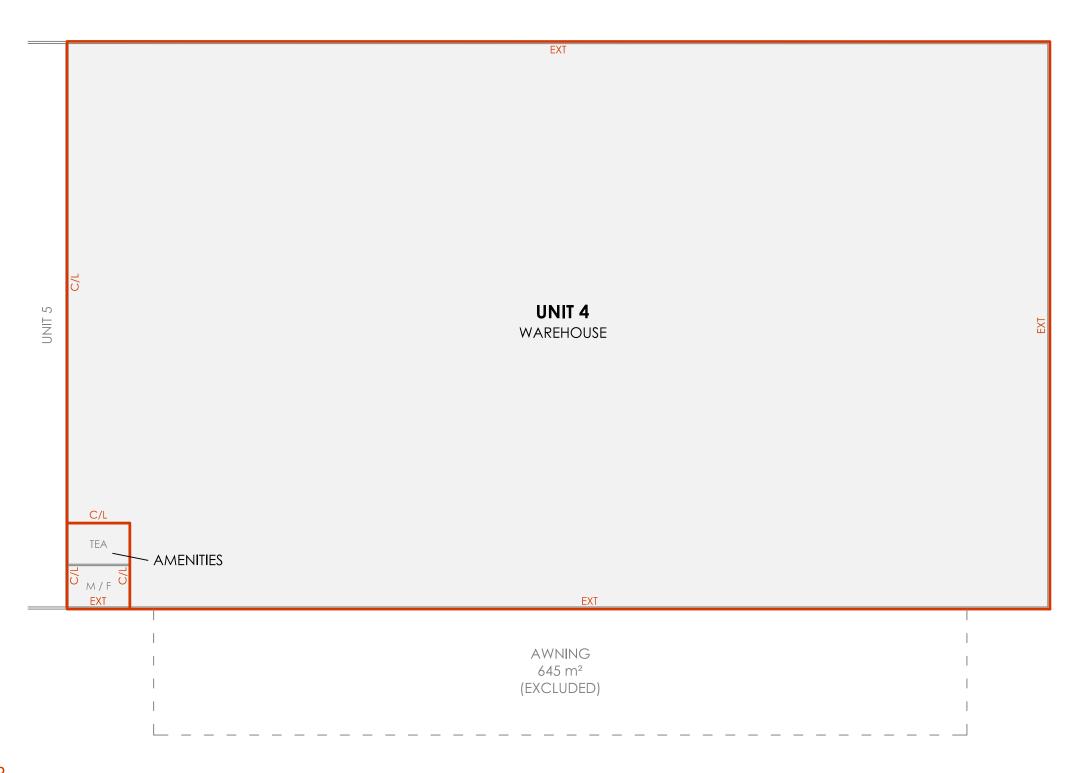
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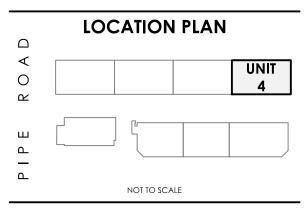
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UNIT 4

 WAREHOUSE
 3,480.1m²

 AMENITIES
 34.0 m²

 TOTAL AREA
 3,514.1m²

LETTABLE AREA



THE LETTABLE AREA IS SHOWN ENCLOSED BY CONTINUOUS LINES

METHOD OF MEASUREMENT

AREAS HAVE BEEN CALCULATED IN ACCORDANCE AND UNDER INTERPRETATION OF THE PROPERTY COUNCIL OF AUSTRALIA (PCA) METHOD OF MEASUREMENT FOR LETTABLE AREA (2008)

(SURVEY DATE 12/04/2022)

GUIDELINES USED GROSS LETTABLE AREA

ALL PARTIES USING THE AREAS EXPRESSED HEREIN, SHOULD AGREE WITH THE BOUNDARY DEFINITIONS, THIS PLAN WAS PRODUCED FOR THE CALCULATION OF FLOOR AREAS ONLY

LEGEND

EXT - EXTERNAL FACE
C/L - CENTRELINE WALL

CLIENT:

ESR

LETTABLE AREA PLAN

UNIT 4, 63 - 69 PIPE ROAD, LAVERTON NORTH, VIC DATE: 26/04/2022

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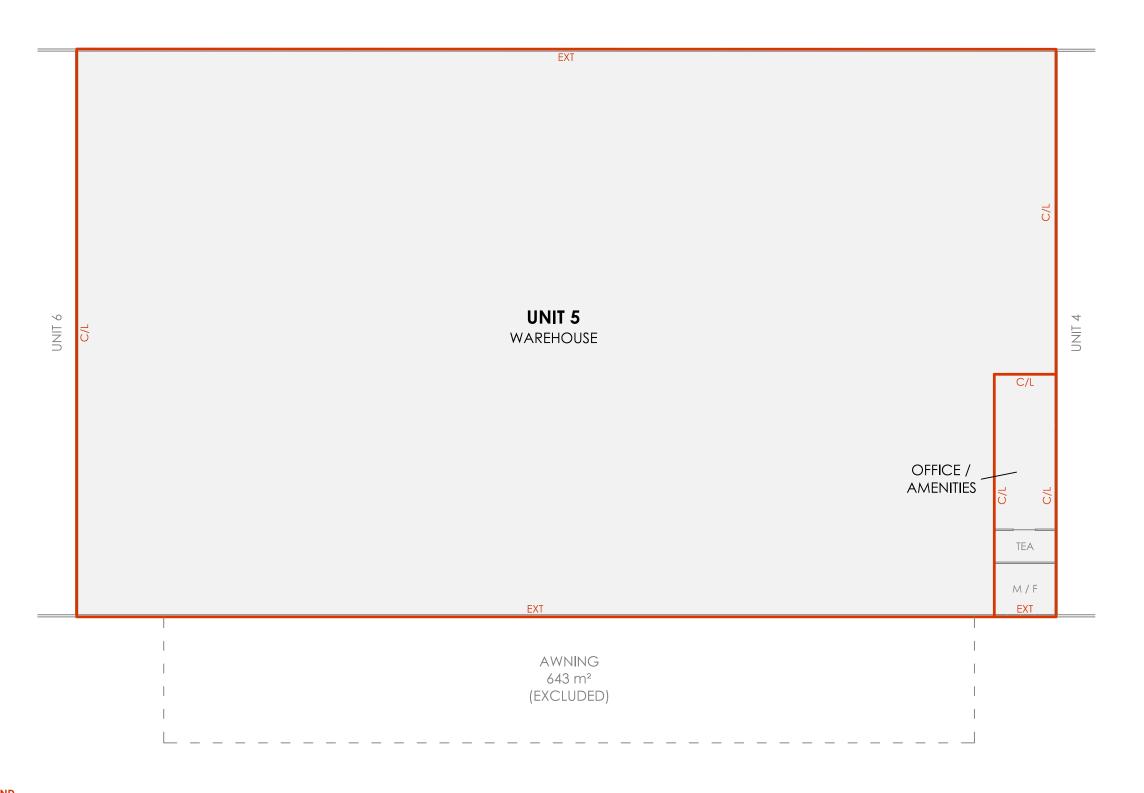
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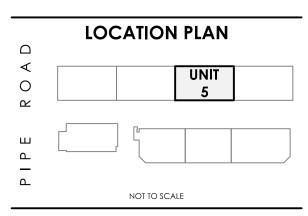
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UNIT 5

WAREHOUSE OFFICE/AMENITIES 3,408.3 m² 94.5 m²

TOTAL AREA

3,502.8 m²

LETTABLE AREA



THE LETTABLE AREA IS SHOWN ENCLOSED BY CONTINUOUS LINES

METHOD OF MEASUREMENT

AREAS HAVE BEEN CALCULATED IN ACCORDANCE AND UNDER INTERPRETATION OF THE PROPERTY COUNCIL OF AUSTRALIA (PCA) METHOD OF MEASUREMENT FOR LETTABLE AREA (2008)

(SURVEY DATE 12/04/2022)

GUIDELINES USED GROSS LETTABLE AREA

ALL PARTIES USING THE AREAS EXPRESSED HEREIN, SHOULD AGREE WITH THE BOUNDARY DEFINITIONS, THIS PLAN WAS PRODUCED FOR THE CALCULATION OF FLOOR AREAS ONLY

5 10 15 1 1 1 1 SCALE 1 : 300

LEGEND

EXT - EXTERNAL FACE
C/L - CENTRELINE WALL

CLIENT:

ESR

LETTABLE AREA PLAN

UNIT 5, 63 - 69 PIPE ROAD, LAVERTON NORTH, VIC DATE: 26/04/2022

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SCALE: 1:300 @ A3 SHEET:

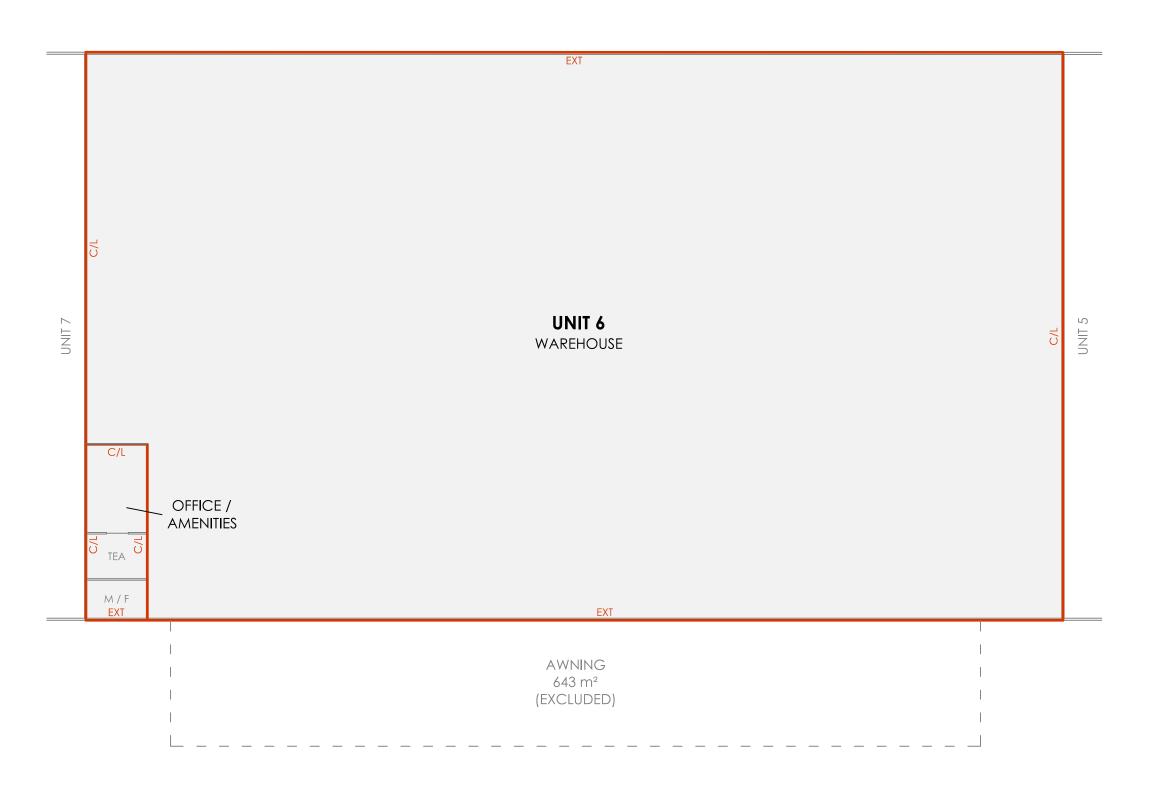
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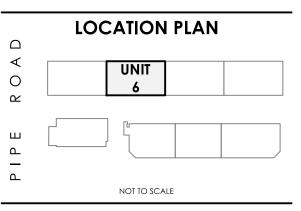


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UNIT 6
WAREHOUSE
OFFICE/AMENITIES

3,427.9 m²

TOTAL AREA

68.2 m²
3,496.1 m²

LETTABLE AREA



THE LETTABLE AREA IS SHOWN ENCLOSED BY CONTINUOUS LINES

METHOD OF MEASUREMENT

AREAS HAVE BEEN CALCULATED IN ACCORDANCE AND UNDER INTERPRETATION OF THE PROPERTY COUNCIL OF AUSTRALIA (PCA) METHOD OF MEASUREMENT FOR LETTABLE AREA (2008)

(SURVEY DATE 12/04/2022)

GUIDELINES USED GROSS LETTABLE AREA

ALL PARTIES USING THE AREAS EXPRESSED HEREIN, SHOULD AGREE WITH THE BOUNDARY DEFINITIONS, THIS PLAN WAS PRODUCED FOR THE CALCULATION OF FLOOR AREAS ONLY

5 10 15 **I I I I I** SCALE 1:300

LEGEND

EXT - EXTERNAL FACE
C/L - CENTRELINE WALL

CLIENT:

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LETTABLE AREA PLAN

UNIT 6, 63 - 69 PIPE ROAD, LAVERTON NORTH, VIC DATE: 26/04/2022

REF: 82058 REV:
DRAWN: LW CHECKED:
SCALE: 1:300 @ A3 SHEET:

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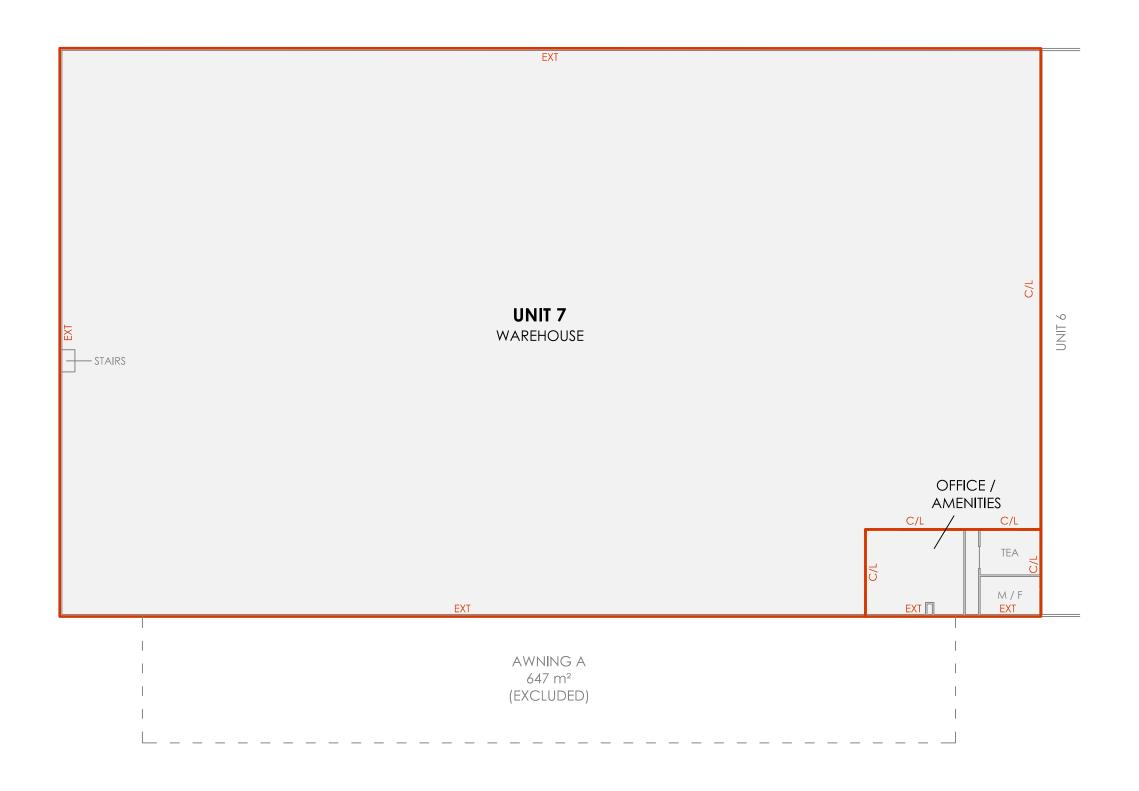
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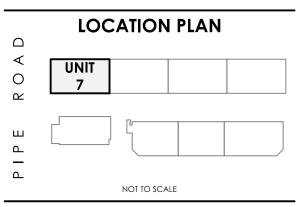
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UNIT 7

WAREHOUSE OFFICE/AMENITIES 3,415.6 m² 96.2 m²

TOTAL AREA

3,511.8 m²

LETTABLE AREA



THE LETTABLE AREA IS SHOWN ENCLOSED BY CONTINUOUS LINES

METHOD OF MEASUREMENT

AREAS HAVE BEEN CALCULATED IN ACCORDANCE AND UNDER INTERPRETATION OF THE PROPERTY COUNCIL OF AUSTRALIA (PCA) METHOD OF MEASUREMENT FOR LETTABLE AREA (2008)

(SURVEY DATE 12/04/2022)

GUIDELINES USED GROSS LETTABLE AREA

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LEGEND

EXT - EXTERNAL FACE
C/L - CENTRELINE WALL

CLIENT:

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LETTABLE AREA PLAN

UNIT 7, 63 - 69 PIPE ROAD, LAVERTON NORTH, VIC DATE: 26/04/2022

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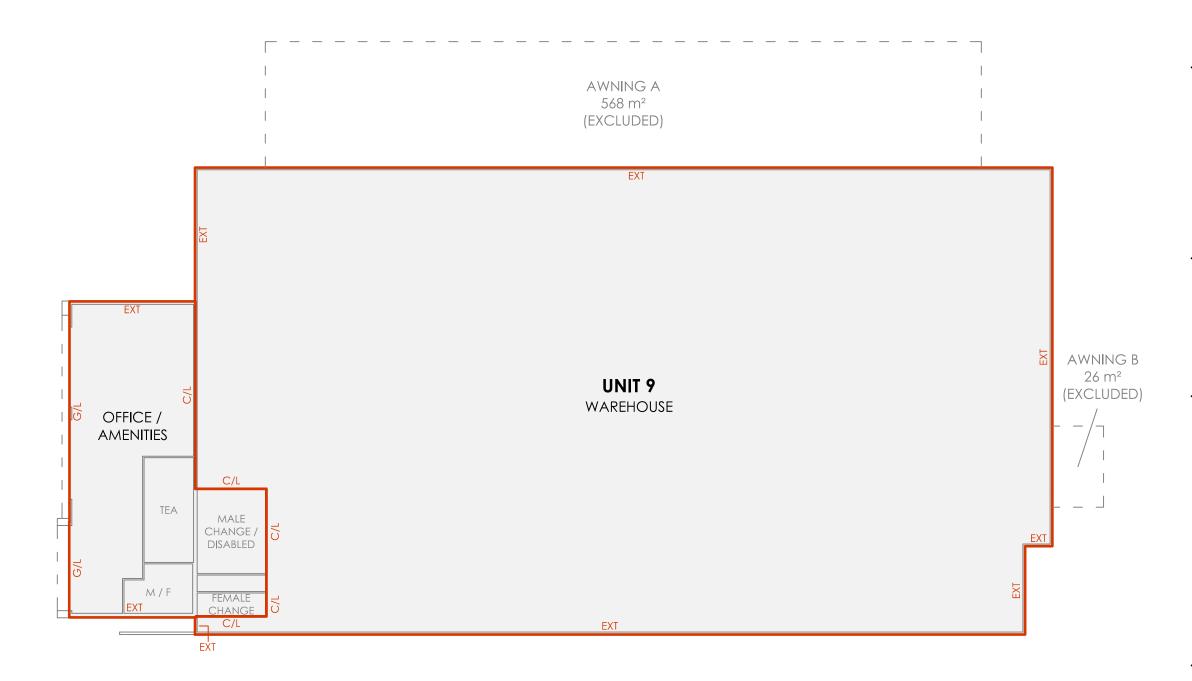


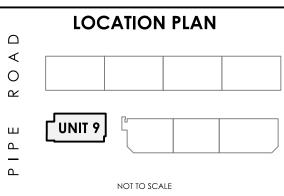
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UNIT 9

WAREHOUSE OFFICE/AMENITIES 2,448.6 m² 307.7 m²

TOTAL AREA

2,756.3 m²

LETTABLE AREA



THE LETTABLE AREA IS SHOWN ENCLOSED BY CONTINUOUS LINES

METHOD OF MEASUREMENT

AREAS HAVE BEEN CALCULATED IN ACCORDANCE AND UNDER INTERPRETATION OF THE PROPERTY COUNCIL OF AUSTRALIA (PCA) METHOD OF MEASUREMENT FOR LETTABLE AREA (2008)

(SURVEY DATE 12/04/2022)

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LEGEND

EXT - EXTERNAL FACE
C/L - CENTRELINE WALL

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CLIENT:

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LETTABLE AREA PLAN

UNIT 9, 63 - 69 PIPE ROAD, LAVERTON NORTH, VIC DATE: 26/04/2022

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SCALE: 1:300 @ A3 SHEET:

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