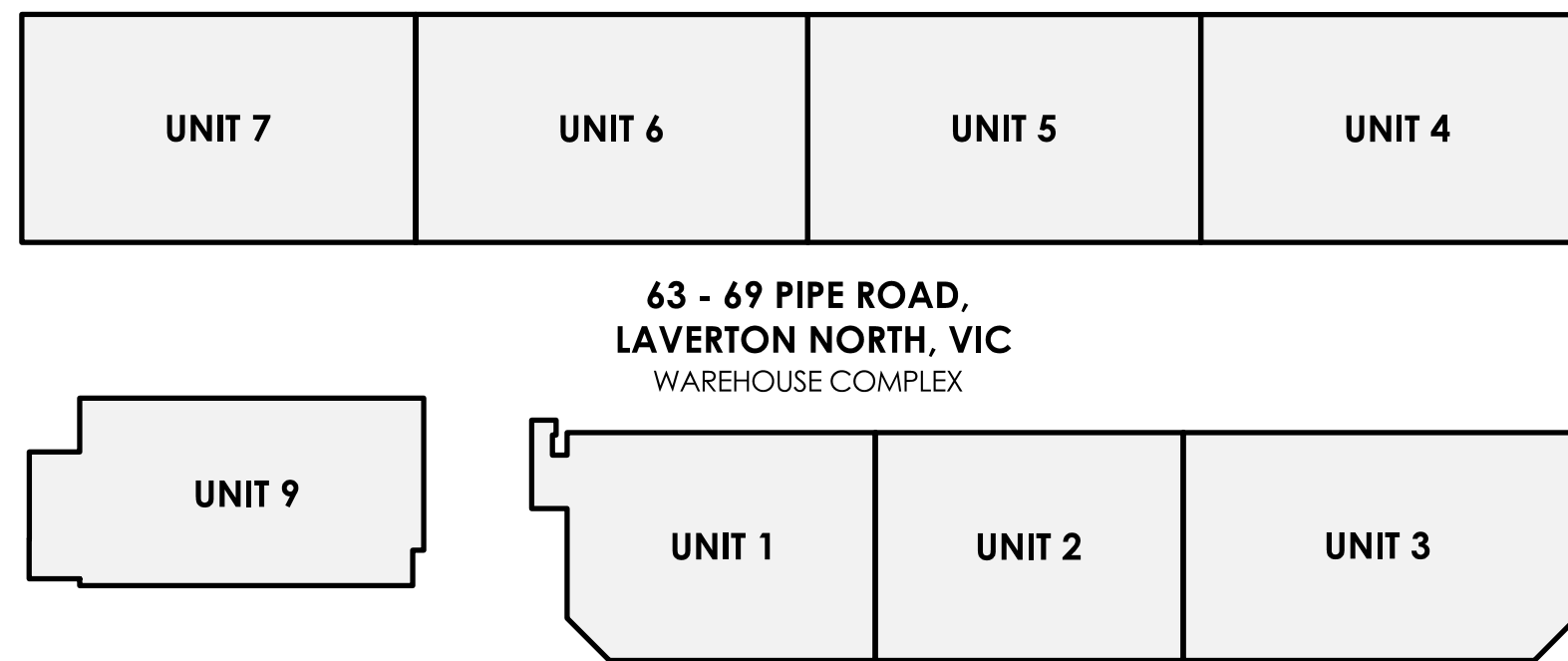




PIPE ROAD



### SUMMARY OF AREAS

UNIT	SHEET	LETTABLE AREAS
UNIT 1	(SHEET 2)	2,904.6 m <sup>2</sup>
UNIT 2	(SHEET 3)	2,743.4 m <sup>2</sup>
UNIT 3	(SHEET 4)	3,469.3 m <sup>2</sup>
UNIT 4	(SHEET 5)	3,514.1 m <sup>2</sup>
UNIT 5	(SHEET 6)	3,502.8 m <sup>2</sup>
UNIT 6	(SHEET 7)	3,496.1 m <sup>2</sup>
UNIT 7	(SHEET 8)	3,511.8 m <sup>2</sup>
UNIT 9	(SHEET 9)	2,756.3 m <sup>2</sup>
<b>TOTAL AREA</b>		<b>25,898.4 m<sup>2</sup></b>

CLIENT:

**ESR**

### SUMMARY OF AREAS

63 - 69 PIPE ROAD,  
LAVERTON NORTH, VIC

DATE: 26/04/2022

REF: 82058 REV: -  
DRAWN: LW CHECKED: IN  
SCALE: NTS @ A3 SHEET: 1 OF 9

Australia | New Zealand

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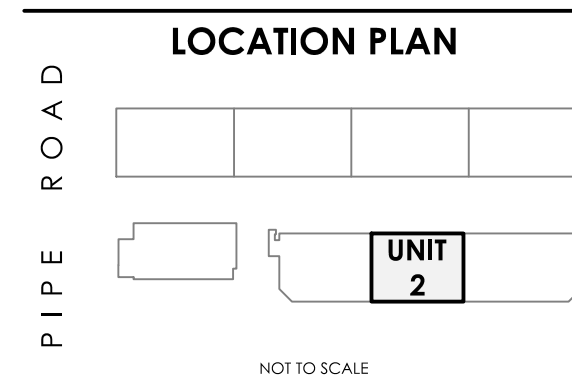
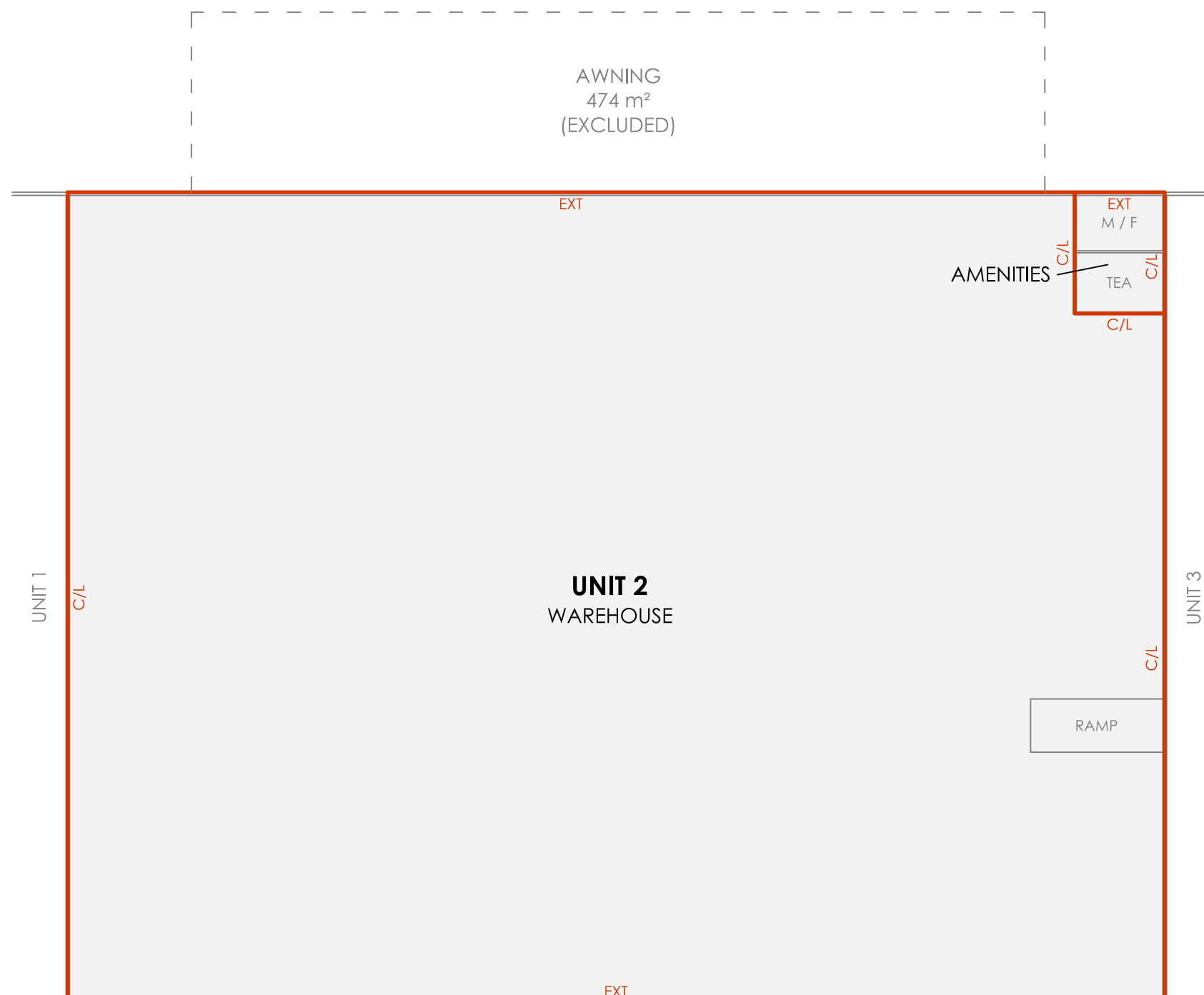
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**SCHEDULE OF AREAS**

UNIT 2	
WAREHOUSE	2,709.7 m <sup>2</sup>
AMENITIES	33.7 m <sup>2</sup>
<b>TOTAL AREA</b>	<b>2,743.4 m<sup>2</sup></b>



**METHOD OF MEASUREMENT**

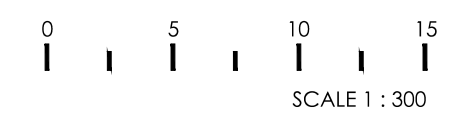
AREAS HAVE BEEN CALCULATED IN ACCORDANCE AND UNDER INTERPRETATION OF THE PROPERTY COUNCIL OF AUSTRALIA (PCA) METHOD OF MEASUREMENT FOR LETTABLE AREA (2008)

(SURVEY DATE 12/04/2022)

**GUIDELINES USED**

**GROSS LETTABLE AREA**

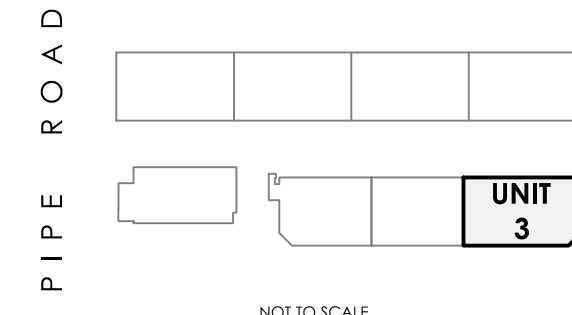
ALL PARTIES USING THE AREAS EXPRESSED HEREIN, SHOULD AGREE WITH THE BOUNDARY DEFINITIONS, THIS PLAN WAS PRODUCED FOR THE CALCULATION OF FLOOR AREAS ONLY



**LEGEND**  
 EXT - EXTERNAL FACE  
 C/L - CENTRELINE WALL



### LOCATION PLAN



### SCHEDULE OF AREAS

UNIT 3	
WAREHOUSE	3,435.6 m <sup>2</sup>
AMENITIES	33.7 m <sup>2</sup>
<b>TOTAL AREA</b>	<b>3,469.3 m<sup>2</sup></b>

LETTABLE AREA 

THE LETTABLE AREA IS SHOWN ENCLOSED BY CONTINUOUS LINES

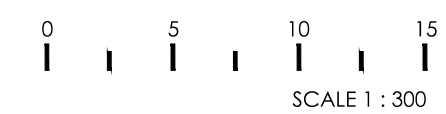
### METHOD OF MEASUREMENT

AREAS HAVE BEEN CALCULATED IN ACCORDANCE AND UNDER INTERPRETATION OF THE PROPERTY COUNCIL OF AUSTRALIA (PCA) METHOD OF MEASUREMENT FOR LETTABLE AREA (2008)

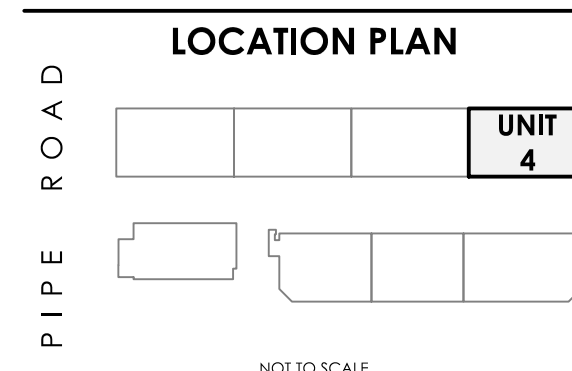
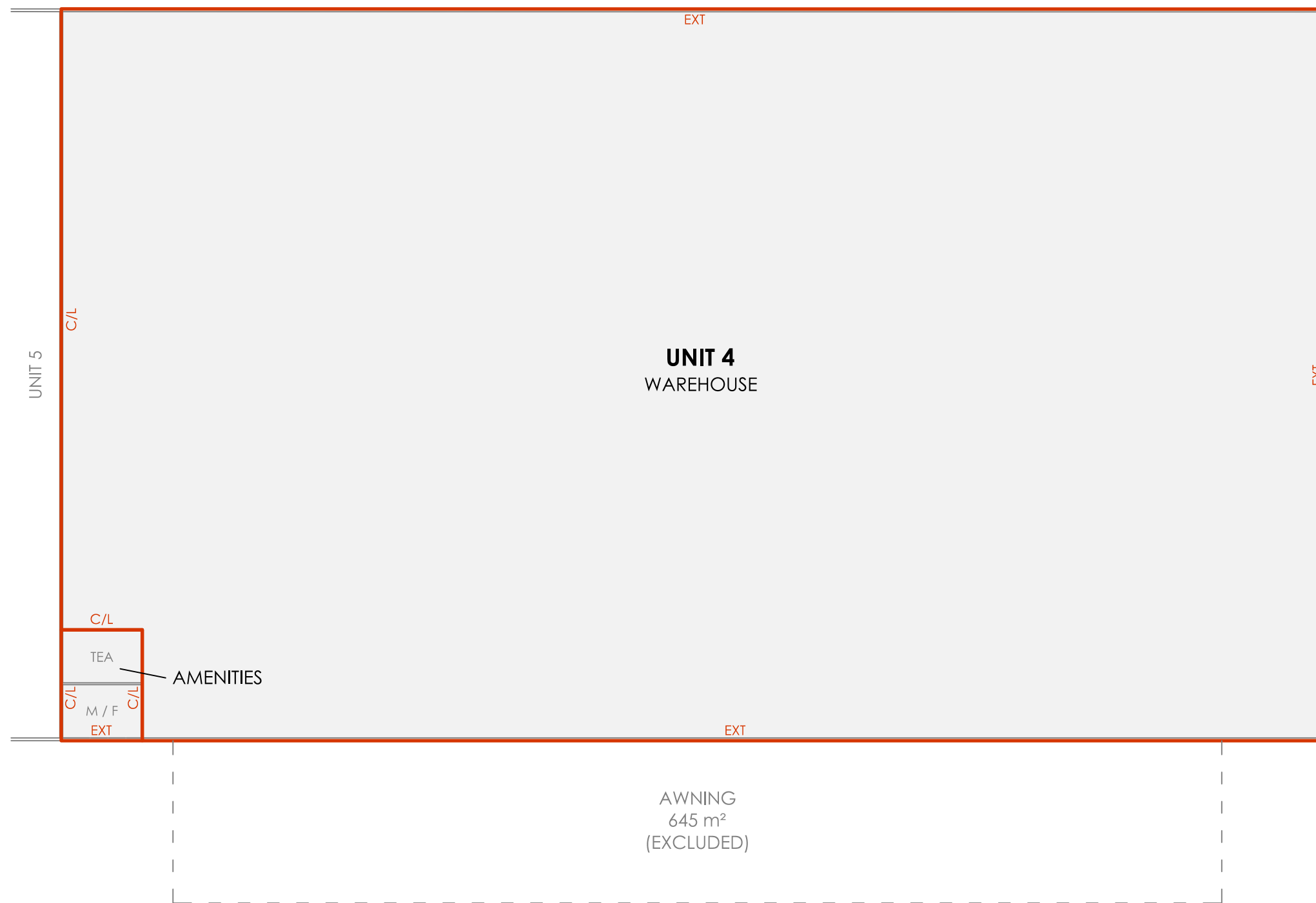
(SURVEY DATE 12/04/2022)

### GUIDELINES USED GROSS LETTABLE AREA

ALL PARTIES USING THE AREAS EXPRESSED HEREIN, SHOULD AGREE WITH THE BOUNDARY DEFINITIONS. THIS PLAN WAS PRODUCED FOR THE CALCULATION OF FLOOR AREAS ONLY



**LEGEND**  
EXT - EXTERNAL FACE  
C/L - CENTRELINE WALL



**SCHEDULE OF AREAS**

UNIT 4	
WAREHOUSE	3,480.1m <sup>2</sup>
AMENITIES	34.0 m <sup>2</sup>
<b>TOTAL AREA</b>	<b>3,514.1m<sup>2</sup></b>

LETTABLE AREA

THE LETTABLE AREA IS SHOWN ENCLOSED BY CONTINUOUS LINES

**METHOD OF MEASUREMENT**

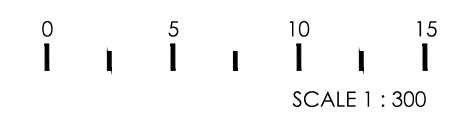
AREAS HAVE BEEN CALCULATED IN ACCORDANCE AND UNDER INTERPRETATION OF THE PROPERTY COUNCIL OF AUSTRALIA (PCA) METHOD OF MEASUREMENT FOR LETTABLE AREA (2008)

(SURVEY DATE 12/04/2022)

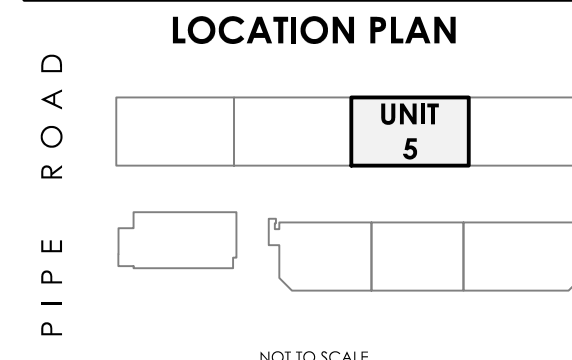
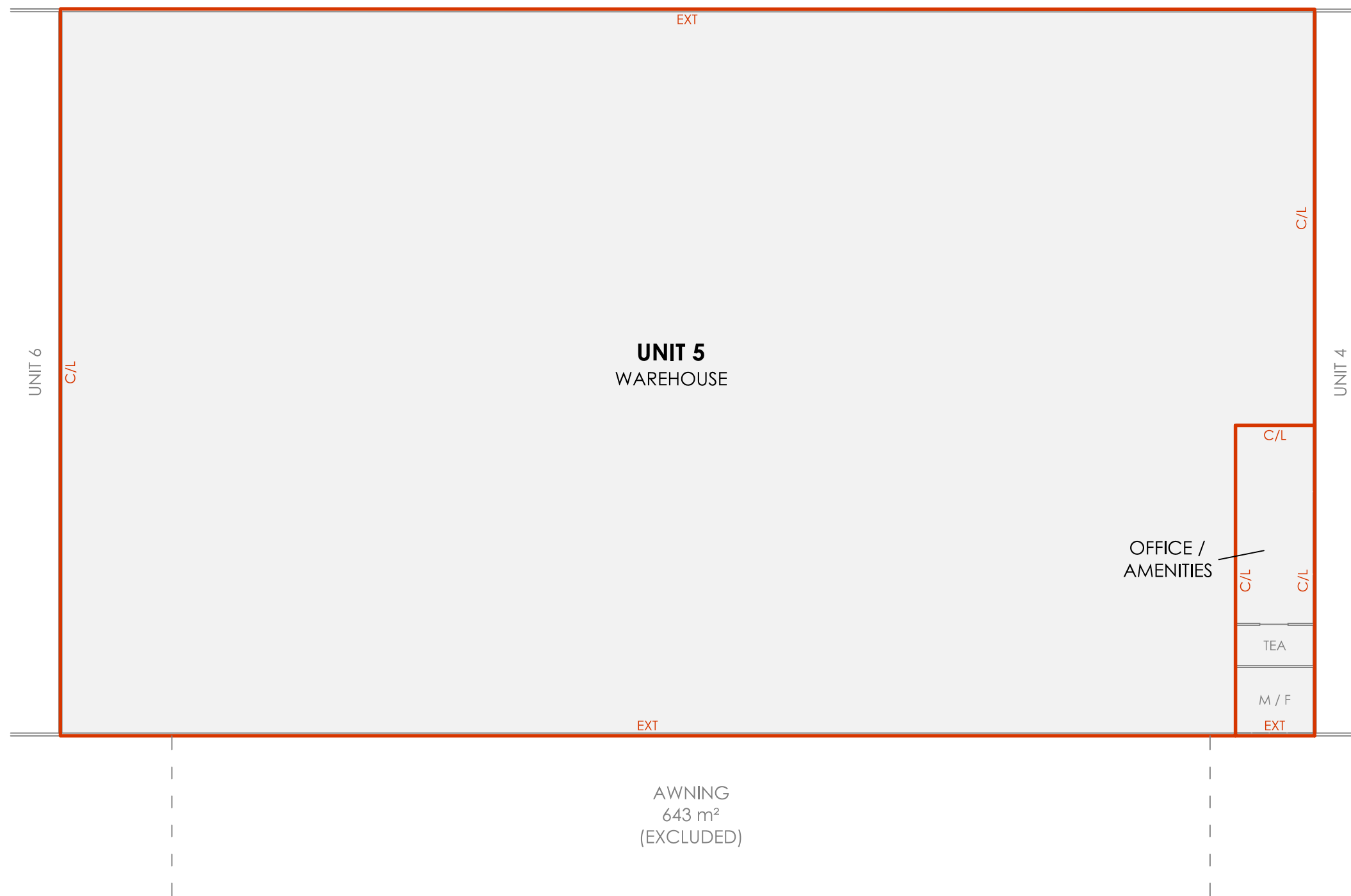
**GUIDELINES USED**

**GROSS LETTABLE AREA**

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**LEGEND**  
 EXT - EXTERNAL FACE  
 C/L - CENTRELINE WALL



**SCHEDULE OF AREAS**

UNIT 5	
WAREHOUSE	3,408.3 m <sup>2</sup>
OFFICE/AMENITIES	94.5 m <sup>2</sup>
<b>TOTAL AREA</b>	<b>3,502.8 m<sup>2</sup></b>



**METHOD OF MEASUREMENT**

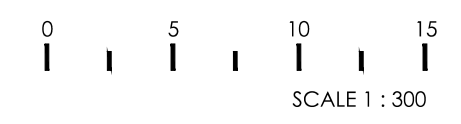
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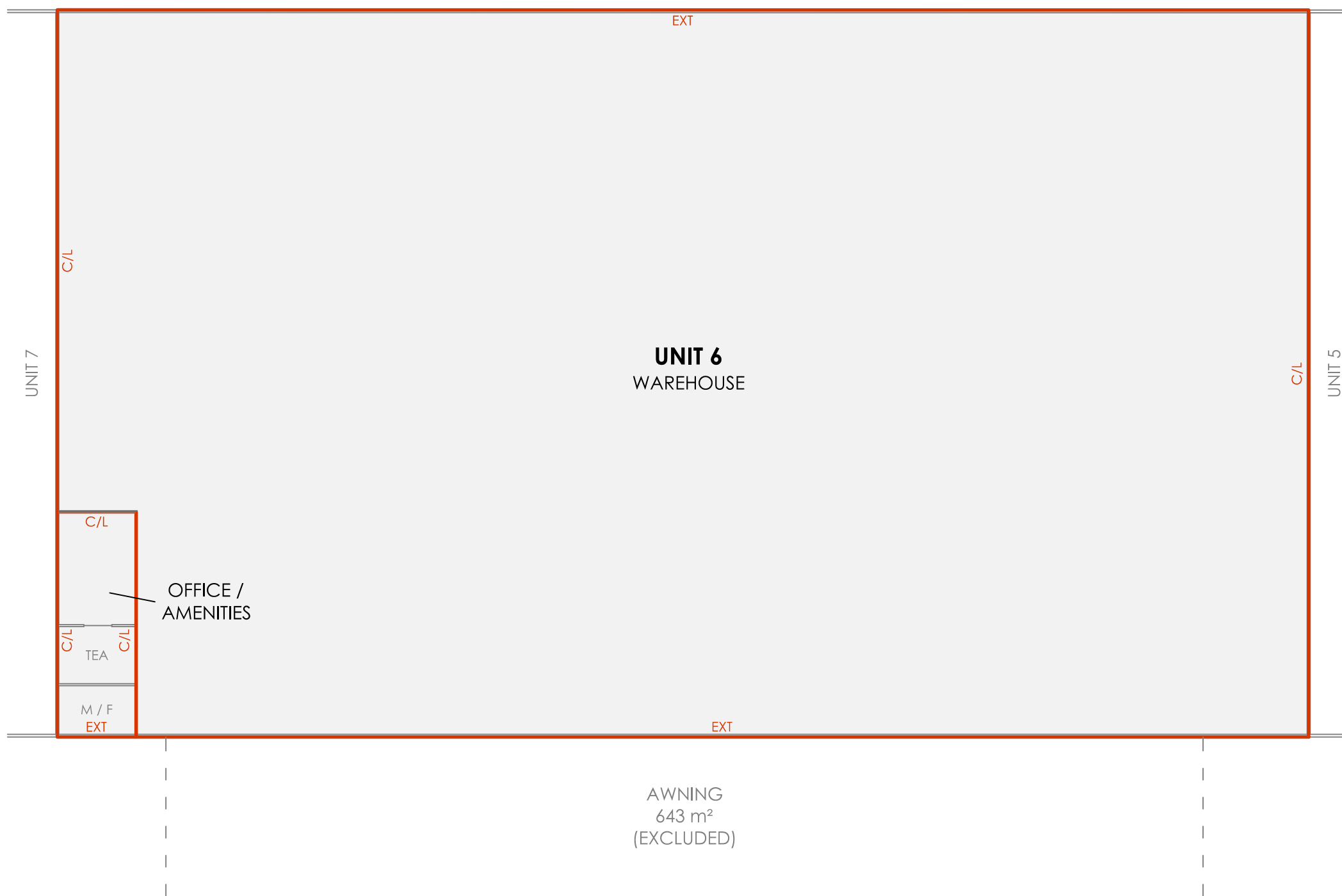
**GUIDELINES USED**

**GROSS LETTABLE AREA**

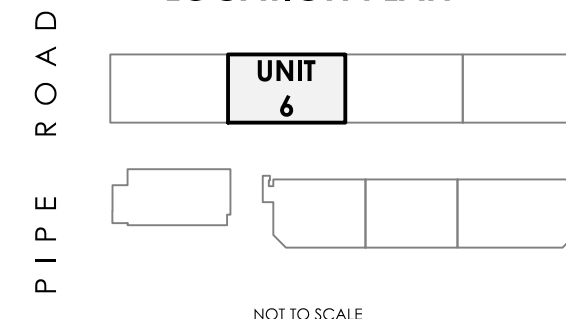
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**LEGEND**  
 EXT - EXTERNAL FACE  
 C/L - CENTRELINE WALL



### LOCATION PLAN



### SCHEDULE OF AREAS

UNIT 6	
WAREHOUSE	3,427.9 m <sup>2</sup>
OFFICE/AMENITIES	68.2 m <sup>2</sup>
<b>TOTAL AREA</b>	<b>3,496.1 m<sup>2</sup></b>

### LETTABLE AREA



THE LETTABLE AREA IS SHOWN ENCLOSED BY CONTINUOUS LINES

### METHOD OF MEASUREMENT

AREAS HAVE BEEN CALCULATED IN ACCORDANCE AND UNDER INTERPRETATION OF THE PROPERTY COUNCIL OF AUSTRALIA (PCA) METHOD OF MEASUREMENT FOR LETTABLE AREA (2008)

(SURVEY DATE 12/04/2022)

### GUIDELINES USED GROSS LETTABLE AREA

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**LEGEND**  
EXT - EXTERNAL FACE  
C/L - CENTRELINE WALL

CLIENT:

**ESR**

## LETTABLE AREA PLAN

UNIT 6, 63 - 69 PIPE ROAD,  
LAVERTON NORTH, VIC

DATE: 26/04/2022

REF: 82058 REV: -  
DRAWN: LW CHECKED: IN  
SCALE: 1:300 @ A3 SHEET: 7 OF 9

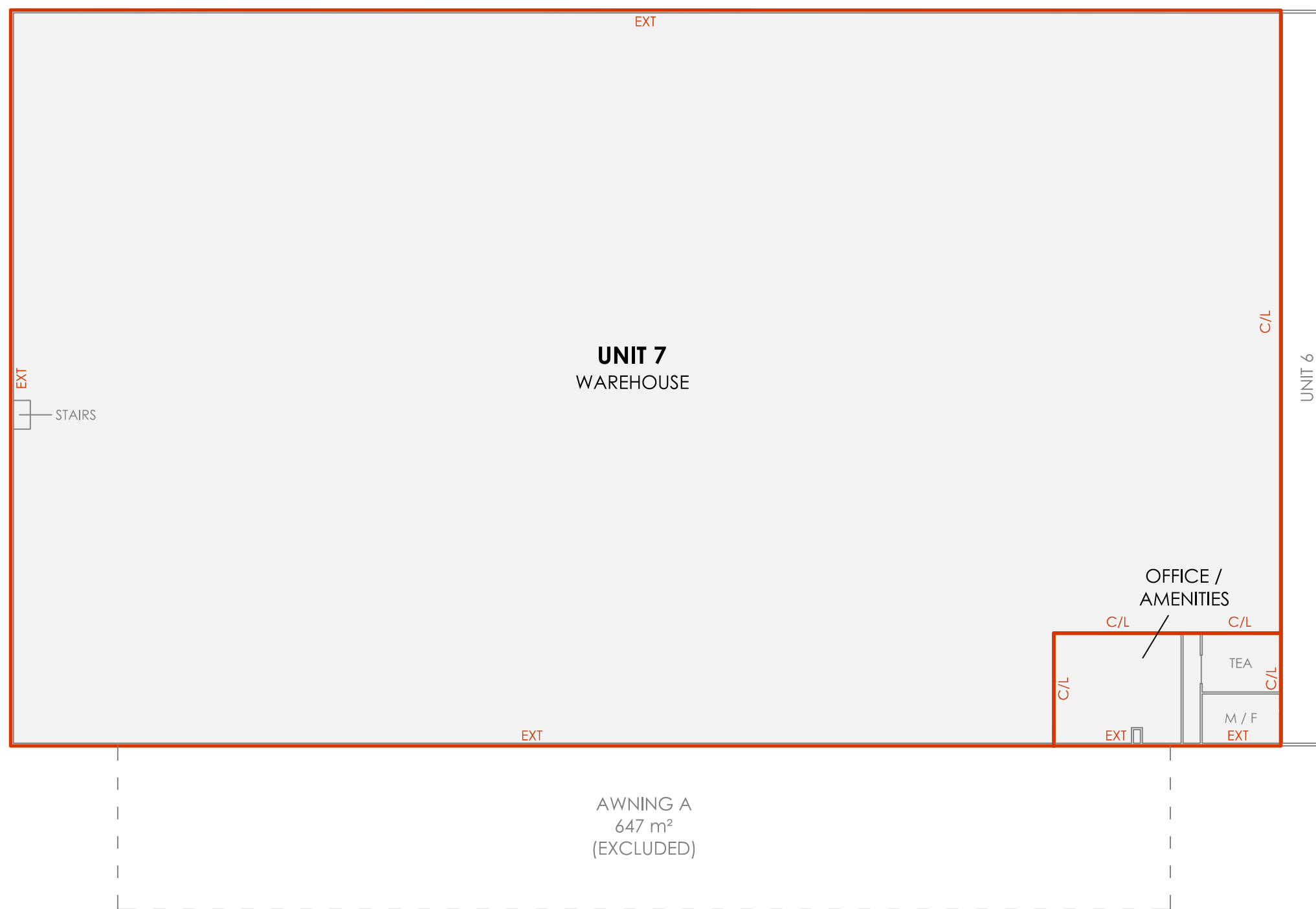
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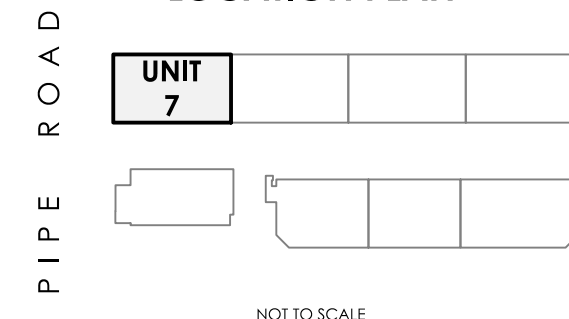
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### LOCATION PLAN



### SCHEDULE OF AREAS

UNIT 7	
WAREHOUSE	3,415.6 m <sup>2</sup>
OFFICE/AMENITIES	96.2 m <sup>2</sup>
<b>TOTAL AREA</b>	<b>3,511.8 m<sup>2</sup></b>

### LETTABLE AREA



THE LETTABLE AREA IS SHOWN ENCLOSED BY CONTINUOUS LINES

### METHOD OF MEASUREMENT

AREAS HAVE BEEN CALCULATED IN ACCORDANCE AND UNDER INTERPRETATION OF THE PROPERTY COUNCIL OF AUSTRALIA (PCA) METHOD OF MEASUREMENT FOR LETTABLE AREA (2008)

(SURVEY DATE 12/04/2022)

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**LEGEND**  
EXT - EXTERNAL FACE  
C/L - CENTRELINE WALL

CLIENT:

**ESR**

## LETTABLE AREA PLAN

UNIT 7, 63 - 69 PIPE ROAD,  
LAVERTON NORTH, VIC

DATE: 26/04/2022

REF: 82058 REV: -  
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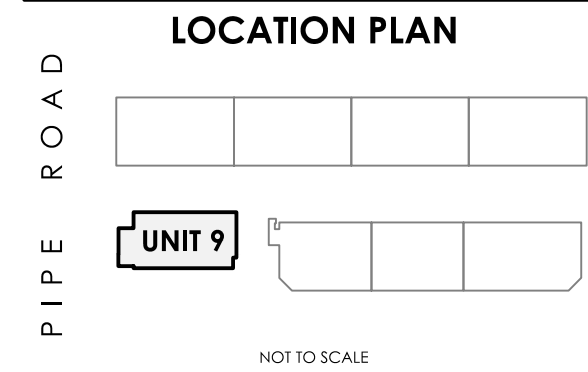
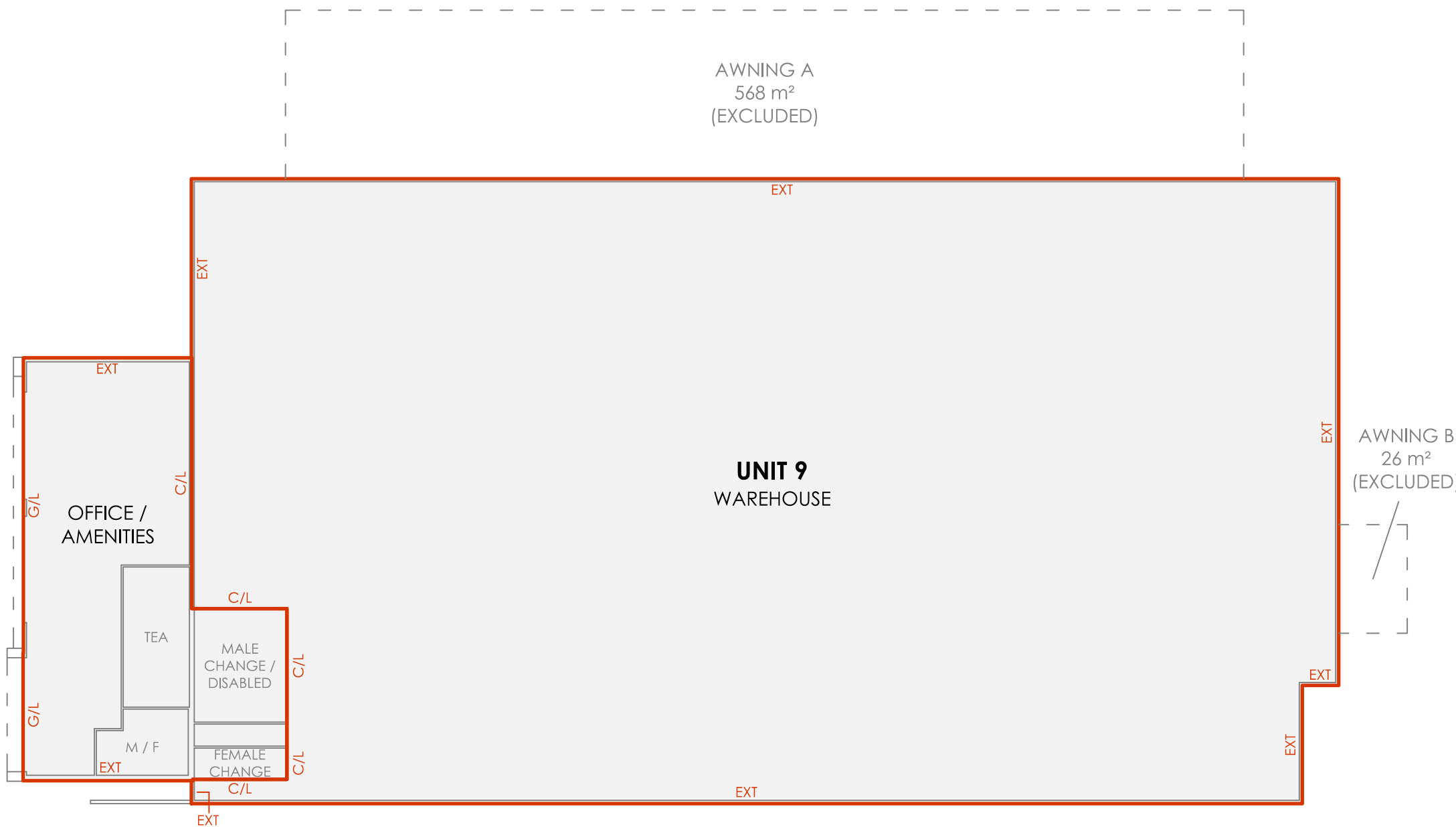
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**SCHEDULE OF AREAS**

UNIT 9	
WAREHOUSE	2,448.6 m <sup>2</sup>
OFFICE/AMENITIES	307.7 m <sup>2</sup>
<b>TOTAL AREA</b>	<b>2,756.3 m<sup>2</sup></b>



**METHOD OF MEASUREMENT**

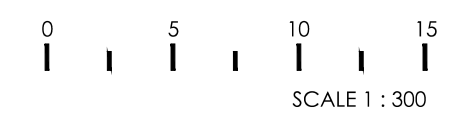
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(SURVEY DATE 12/04/2022)

**GUIDELINES USED**

**GROSS LETTABLE AREA**

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**LEGEND**  
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 C/L - CENTRELINE WALL