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**TO** David Mollerstorm (Senior Project Manager, ESR)

**FROM** Jasmine Wong (Traffic Engineer, Ason Group)

**CC** Ali Rasoul (Principal Lead, Ason Group)  
Babak Javani (Transport Modeller, Ason Group)

**SUBJECT** Lot 4 Westlink Industrial Estate, Mamre Road, Kemps Creek – SSD-9138102 MOD 2 Transport Statement

## Introduction

This Transport Statement (TS) has been prepared to support the proposed modification (MOD 2) to the approved State Significant Development (SSD) 9138102. SSD-9138102 relates to the Stage 1 of the Westlink Industrial Estate (the Estate), approved by DPE on 21 April 2023. The subject site is located at Lot 4, 59-63 Abbotts Road & 290-308 Aldington Road, Kemps Creek (the Site).

The MOD 2 relates to the minor amendment to the approved plans which predominantly involves the reduction to Lot 4's hardstand width. Additional proposed amendments to the Site Plan can be found in **Appendix A**.

## References

In this TS, reference is made to the previously approved Transport Management & Accessibility Plan (TMAP) dated 19 October 2022 (Ref: 1323r06v2). The Site lies with the Mamre Road Precinct (MRP); as such, Ason Group has referenced the MRP DCP as it provides the overarching controls for the Site and the wider Precinct:

- DPE, *Western Sydney Employment Area, Mamre Road precinct, Development Control Plan*, November 2021 (MRP DCP).

Further to the above, the Site lies within the Penrith City Council Local Government Area (LGA); as such, Ason Group has referenced the following key Council controls in preparing this MOD 2 TS:

- Penrith City Council Local Environmental Plan 2010 (Penrith LEP).
- Penrith City Council Development Control Plan 2014 (Penrith DCP).

Ason Group has also referenced the following additional policies and guidelines relevant to the assessment of the MOD 2:

- Roads and Maritime Services (Roads and Maritime) Guide to Traffic Generating Developments 2002 (RMS Guide).

- Roads and Maritime Guide to Traffic Generating Developments Updated Traffic Surveys, August 2013 (RMS Guide Update).
- Australian Standard 2890.1: 2004 Parking Facilities – Off-Street Car Parking (AS 2890.1).
- Australian Standard 2890.2: 2018 Parking Facilities – Off-Street Commercial Vehicle Facilities (AS 2890.2).
- Australian Standard 2890.3: 2015 Parking Facilities – Bicycle Parking (AS 2890.3).
- Australian Standard 2890.6: 2022 Parking Facilities – Off-Street Parking for People with Disabilities (AS 2890.6).

In undertaking this assessment, reference is made to the following plans prepared by Nettletontribe:

- 12587\_DA106, *Ground Floor Plan – LOT4, Issue P14*, dated 15/02/2023 (Approved Plan).
- 12587\_DA104, *Lower Ground Floor Plan – LOT4, Issue P2*, dated 13/02/2023 (Approved Plan).
- 12587\_DA106, *Ground Floor Plan – LOT4, Issue P25*, dated 10/12/2023 (Proposed Plan).
- 12587\_DA104, *Lower Ground Floor Plan – LOT4, Issue P4*, dated 15/09/2023 (Proposed Plan).

Additionally, the following report has been referenced.

- Ason Group, Transport Management & Accessibility Plan, Stage 1 Westlink, Mamre Road Precinct, dated 19 October 2022, ref: P1323r06v2 (the approved Traffic Report)

## Approval

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The Ground Floor Plan and Lower Ground Floor Plan for Lot 4, approved under the SSD-9138102 submission, are shown in **Figure 1** and **Figure 2**, respectively.

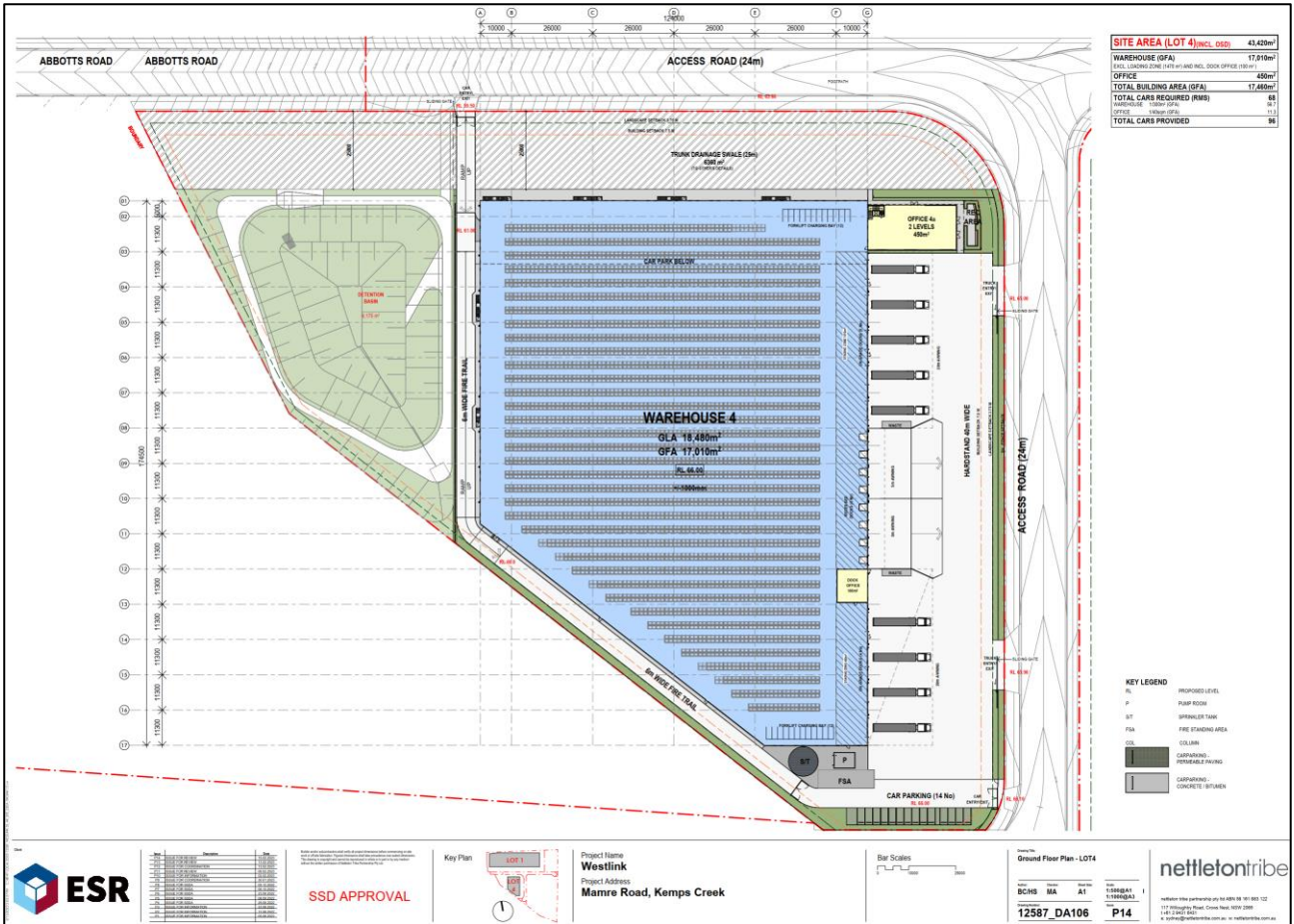


Figure 1: Approved Ground Floor Plan – LOT4, Drawing number: 12587\_DA106, Issue P14, dated 15/02/2023

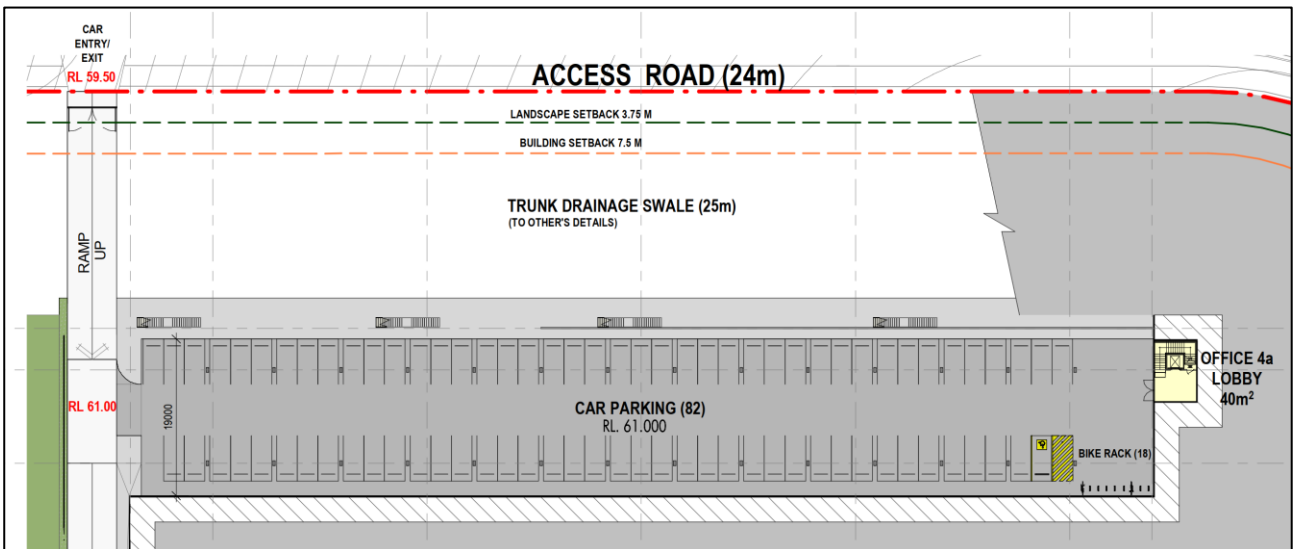


Figure 2: Approved Lower Ground Floor Plan – LOT4, Drawing number: 12587\_DA104, Issue P2, dated 13/02/2023



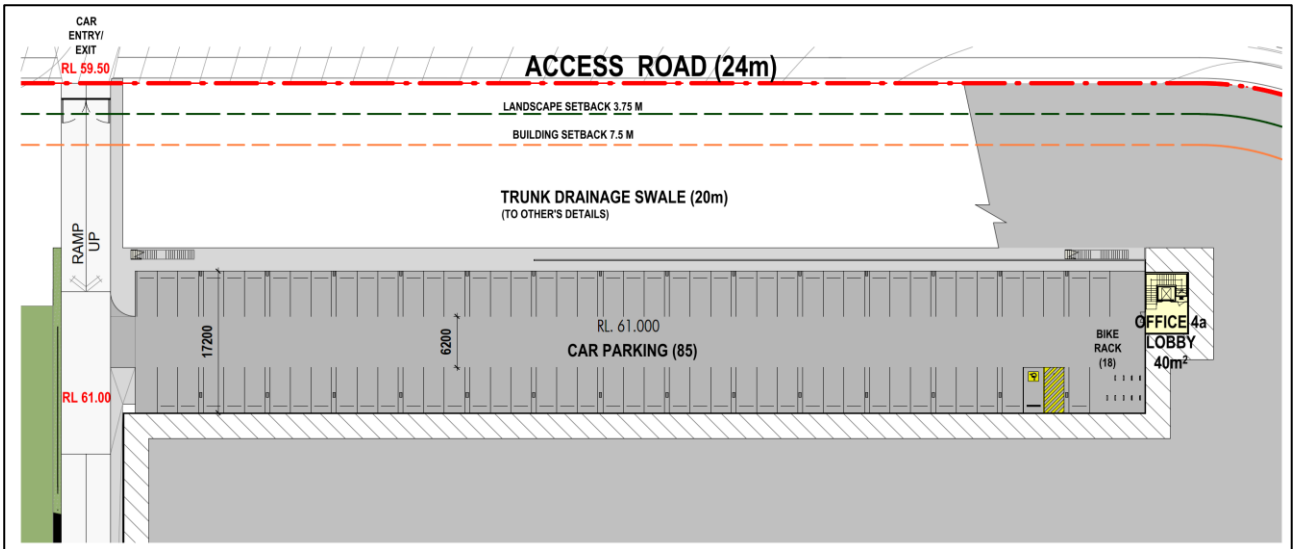


Figure 4: Proposed Lower Ground Floor Plan-Lot 4 (Source: Prepared by NettletonTribe revision P4, dated 15/09/2023)

The proposed changes to the approved plan sought by the MOD 2 are summarised in **Table 1**.

TABLE 1: SUMMARY OF GFA MODIFICATIONS				
Lot	Land Use	Approved SSD (m <sup>2</sup> GFA)	Proposed Modification (m <sup>2</sup> GFA)	Net Change (m <sup>2</sup> GFA)
4	Warehouse	17,010	16,540	-470
	Office	450	480	+30
Total		17,460	17,020	-440

Total of 96 car parking spaces were provided under the approved SSD-9138102. The proposal now provides a total of 85 car parking spaces for MOD 2.

## Parking Assessment

### Car Parking

The MRP DCP stipulates the following car parking requirements applicable to the Proposal.

- Warehouse: 1 space per 300m<sup>2</sup> or 1 space per 4 employees, whichever is the greater
- Office: 1 space / 40m<sup>2</sup> GFA



**TABLE 2: MRP DCP PARKING REQUIREMENTS**

Land Use	GFA (m2)	Parking Requirement	Total Parking Requirement	Provision	Net
Warehouse	16,540	56	68	85 <sup>1)</sup>	+17
Office	480	12			

Notes: 1) 85 spaces located on the Lower Ground Floor

The above table indicates the Proposal seeks to provide 85 car parking spaces while the MRP DCP rate requires 68 spaces, resulting in a surplus of 17 spaces. The Proposal therefore maintains compliance with the MRP DCP requirements in relation to total car parking provided.

### Electric Vehicle Parking

It is also noted that the MRP DCP Clause 4.6.1 states that parking areas should incorporate dedicated parking bays for electric vehicle charging. To align with the approved Traffic Report, it is proposed that a total of 2 spaces will be designated as electric vehicle charging bays. This can be readily provided during detailed design of Lot 4 during the Construction Certificate phase.

### Accessible Parking

The MRP DCP provides the following in regard to accessible parking:

*Accessible parking should be in accordance with the Access to Premises Standards, Building Code of Australia and AS2890. In this regard, 1 accessible parking spaces are to be provided per every 100 spaces.*

The Proposal provides 1 accessible space for Lot 4, achieving compliance with the MRP DCP.

### Bicycle Parking

Bicycle parking rates from the MRP DCP have been adopted to assess the parking requirements of the proposal. The requirements are as follows:

- Warehouse: 1 space per 1,000m<sup>2</sup> of GFA of industrial activities (over 2,000m<sup>2</sup> GFA)
- Office: 1 space per 600m<sup>2</sup> of GFA of office and retail

As such, a total of 18 bicycle spaces are required. Proposal continues to provide 18 bicycle spaces which aligns with the MRP DCP bicycle requirements.

### End of Trip Facilities

The MRP DCP outlines the following end of trip facilities requirements:

- Warehouse: For industrial activities with a gross floor area over 4,000m<sup>2</sup>, at least 1 shower cubicle with ancillary change rooms

- Office: For ancillary office and retail space with a gross floor area over 2,500m<sup>2</sup>, at least 1 shower cubicle with ancillary change rooms

On the basis of the above, the proposal would need to provide at least 1 shower cubicle with ancillary change rooms.

In response, the proposal provides 1 male and 1 female shower with ancillary change rooms for the Site and therefore, complies with the MRP DCP.

## Traffic Generation

The traffic impacts of the Site have been assessed having regard for the rates used to calculate the traffic generation of the approved development (SSD 9138102).

The trip generation rates reported in the approved development, are:

- AM Peak: 0.23 trips per 100m<sup>2</sup> GFA
- PM Peak: 0.24 trips per 100m<sup>2</sup> GFA
- Daily trips: 2.91 trips per 100m<sup>2</sup> GFA

Application of the above rates to the proposed GFAs results in the following.

TABLE 3 PROPOSED TRAFFIC GENERATION			
Land Use	Peak Period	GFA (m <sup>2</sup> )	Trips
Approved Development (SSD 9138102)	AM	17,460	40
	PM		42
	Daily		508
The Proposal	AM	17,020	39
	PM		41
	Daily		495
Net Difference	AM	-440	-1
	PM		-1
	Daily		-13

With reference to the above, the forecasted traffic generation is expected to generate 39 and 41 trips in the AM and PM Peaks while the approved development was forecasted to generate 40 and 42 trips respectively. This results in a net decrease of 1 trip in both the AM and PM Peaks.

It can be concluded that the trips associated with the Proposal is expected to have no additional material impact on the surrounding road network than previously assessed under SSD 9138102. Therefore, the Proposal can be supportable from a traffic standpoint.

## Design Commentary

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The proposed ground floor plan continues to generally comply with the following Australian Standards.

- AS2890 – Parking Facilities – Part 1: Off-street car parking (AS2890.1: 2004), and
- AS2890 – Parking Facilities – Part 2: Off-street commercial vehicle facilities (AS2890.2: 2018)
- AS2890 – Parking Facilities – Part 3: Bicycle parking (AS2890.3: 2015)
- AS2890 – Parking Facilities – Part 6: Off-street parking for people with disabilities (AS2890.6: 2022)

Reference should be made to **Appendix B** for the revised swept path assessment for the Ground Floor Plan of the Proposal. It is highlighted that 1 RSD would need to be restricted to vehicles up to 12.5m Heavy Rigid Vehicles (HRVs) to avoid impacts to the B-Double uncoupling area due to the reduced hardstand width.

Further detailed design assessment for the Ground Floor Plan and Lower Ground Floor will be undertaken during detailed design.

## Conclusions

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Further to a detailed assessment of the Proposal, Ason Group has concluded that:

- The car parking and accessible parking provision meets and/or exceeds the car parking requirements stated in the MRP DCP.
- Provision of bicycle parking is consistent with the previously submitted plan. EV parking can be further assessed during detailed design as well as bicycle parking and associated end of trip facilities as necessary during the Construction Certificate phase.
- The Proposal will contribute to a reduction of 1 trip in the AM and PM peak periods compared to the approved development under SSD 9138102, therefore, the traffic generation can be supportable from a traffic standpoint.
- The Proposal is generally in accordance with the relevant Australian Standards.

As such, the proposed MOD 2 is supportable on parking, traffic and design grounds.

Should you require any further information or clarification, please do not hesitate to contact the undersigned or Dr. Ali Rasouli on +61 481 350 932.

Yours sincerely,



**Jasmine Wong**

*Traffic Engineer*

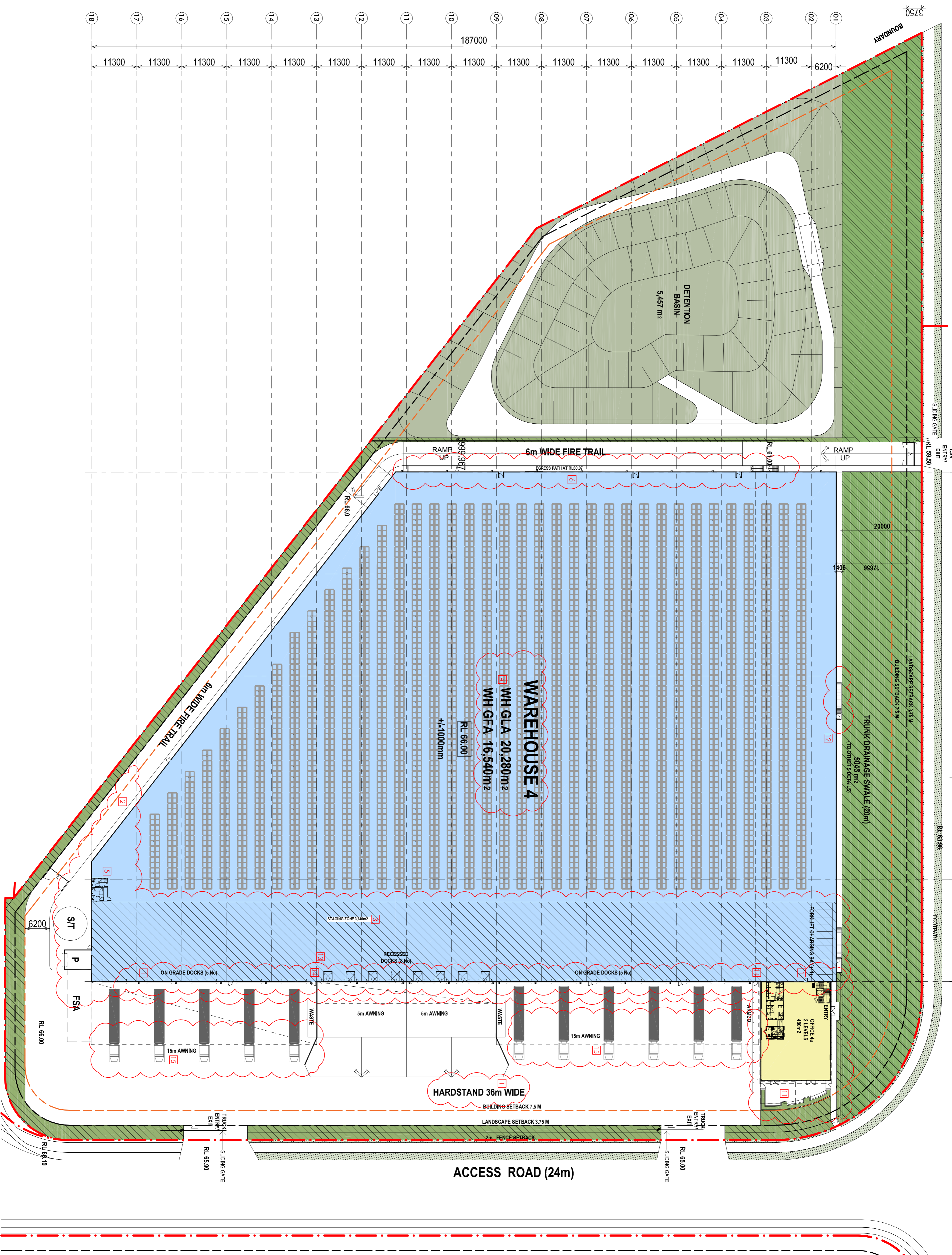
E: [jasmine.wong@asongroup.com.au](mailto:jasmine.wong@asongroup.com.au)

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<b>SITE AREA (LOT 4) (INCL. OSD)</b>	43,398m <sup>2</sup>
<b>WAREHOUSE (GFA)</b>	16,540m <sup>2</sup>
EXCL. LOADING ZONE (9870 m <sup>2</sup> )	
<b>OFFICE</b>	480m <sup>2</sup>
<b>TOTAL BUILDING AREA (GFA)</b>	17,020m <sup>2</sup>

<b>TOTAL CARS REQUIRED (RMS)</b>	67
WAREHOUSE 1030m <sup>2</sup> (GFA)	55,1
OFFICE 1480m <sup>2</sup> (GFA)	12
<b>TOTAL CARS PROVIDED</b>	85

**SSDA Modification Change List**

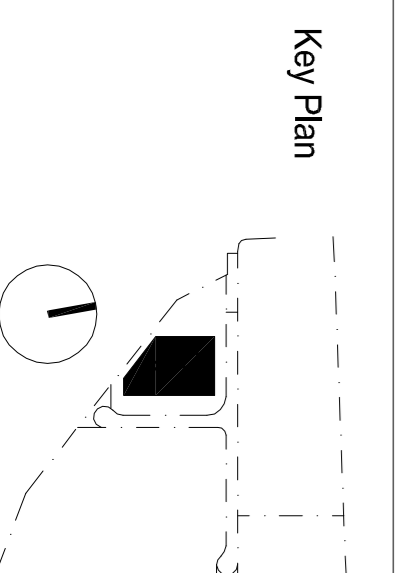
- Warehouse extended 4m towards east. As a result, hardstand width is reduced to 36m wide, office is moved 4m east.
- Southern warehouse well moved south.
- Staging zone increased.
- GFA and GFA areas are changed accordingly.
- Warehouse amenity is added.
- Egress footpath along warehouse western wall is raised to warehouse floor level with an egress stair at north end.
- Underground carpark is moved north, and its level is raised to approx. RL 62.6.
- Grade gradient is added to western side of underground carpark.
- Concrete materials are tilted up.
- Office north section is removed.
- Office from section and pedestrian access are amended.
- Egress stair and door at northwest corner is moved east.
- Door Office is removed.
- 2 roller shutter doors are added.
- The Awning over roller shutter doors is reduced to 15m deep.

**KEY LEGEND**

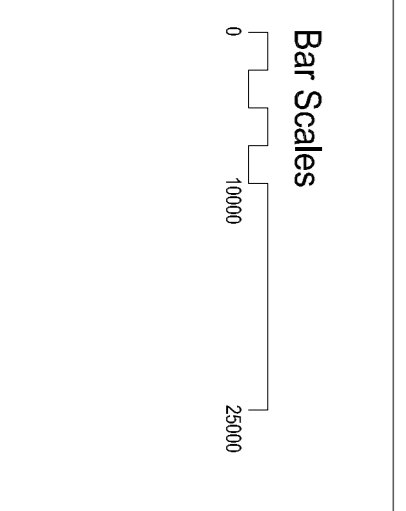
RL	PROPOSED LEVEL
P	PUMP ROOM
S/T	SPRINKLER TANK
FSA	FIRE STANDING AREA
COL	COLUMN
[Symbol]	CARPARKING - PERMIDABLE PAVING
[Symbol]	CARPARKING - CONCRETE / BITUMEN

Item	Description	Date
199	ISSUE FOR SSDA WORK	10/12/2023
198	ISSUE FOR SSDA WORK	07/12/2023
197	ISSUE FOR SSDA WORK	04/12/2023
196	ISSUE FOR SSDA WORK	01/12/2023
195	ISSUE FOR SSDA WORK	29/11/2023
194	ISSUE FOR SSDA WORK	26/11/2023
193	ISSUE FOR SSDA WORK	23/11/2023
192	ISSUE FOR SSDA WORK	20/11/2023
191	ISSUE FOR SSDA WORK	17/11/2023
190	ISSUE FOR SSDA WORK	14/11/2023
189	ISSUE FOR SSDA WORK	11/11/2023
188	ISSUE FOR SSDA WORK	08/11/2023
187	ISSUE FOR SSDA WORK	05/11/2023
186	ISSUE FOR SSDA WORK	02/11/2023
185	ISSUE FOR SSDA WORK	30/10/2023
184	ISSUE FOR SSDA WORK	27/10/2023
183	ISSUE FOR SSDA WORK	24/10/2023
182	ISSUE FOR SSDA WORK	21/10/2023
181	ISSUE FOR SSDA WORK	18/10/2023

SSD MODIFICATION



**Project Name**  
Westlink  
**Project Address**  
Mamre Road, Kemps Creek



**Ground Floor Plan - LOT4**

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Checker: ES  
Sheet No: A1

Drawing Number: 12587\_DA106

Scale: 1:500@A1  
1:1000@A3

Sheet: P25

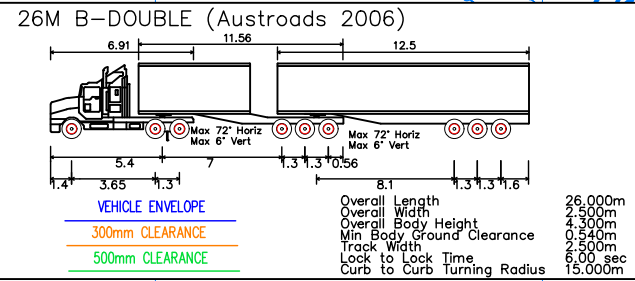
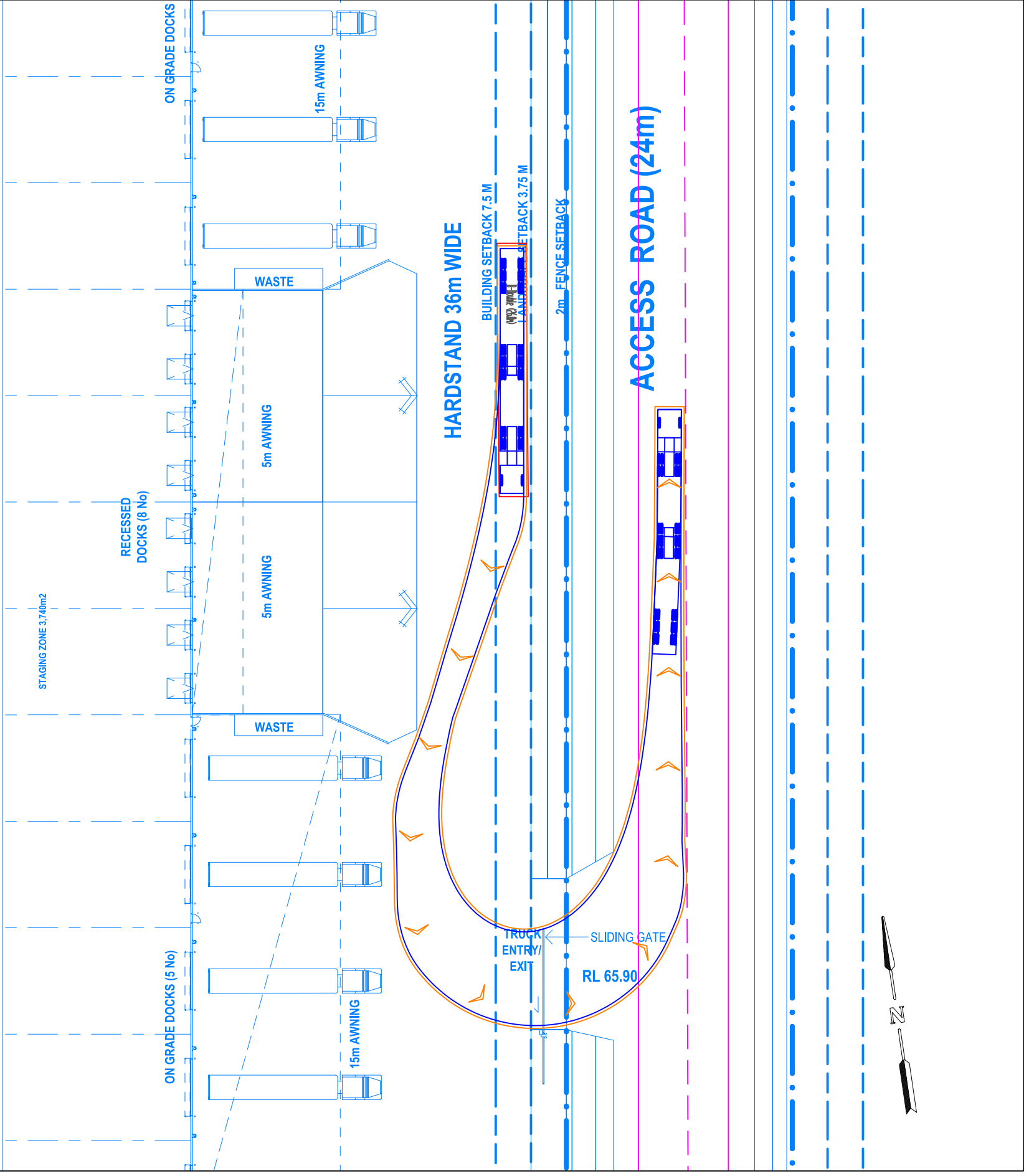
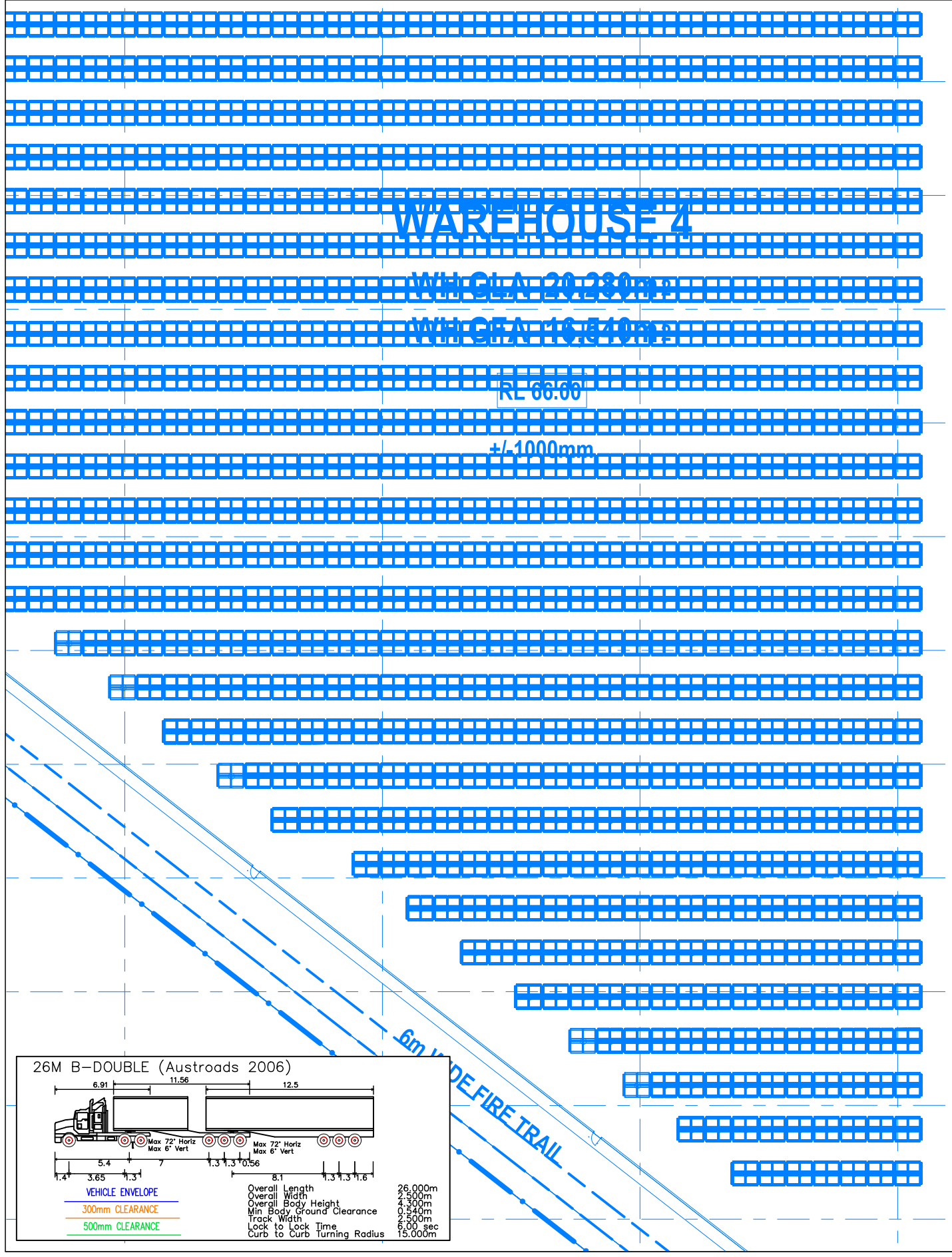








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Base Plan prepared by Nettletontribe, received 10.12.2023.

Swept path assessments completed at 10 km/h and 300mm clearance.

DESIGNED Babak Javani	PAPER SIZE A3
APPROVED BY X.XXXX	DATE 19.12.2023
SCALE 1:500	0 5 10

CLIENT ESR Group
PROJECT 1323 Abbots Road, Kemps Creek

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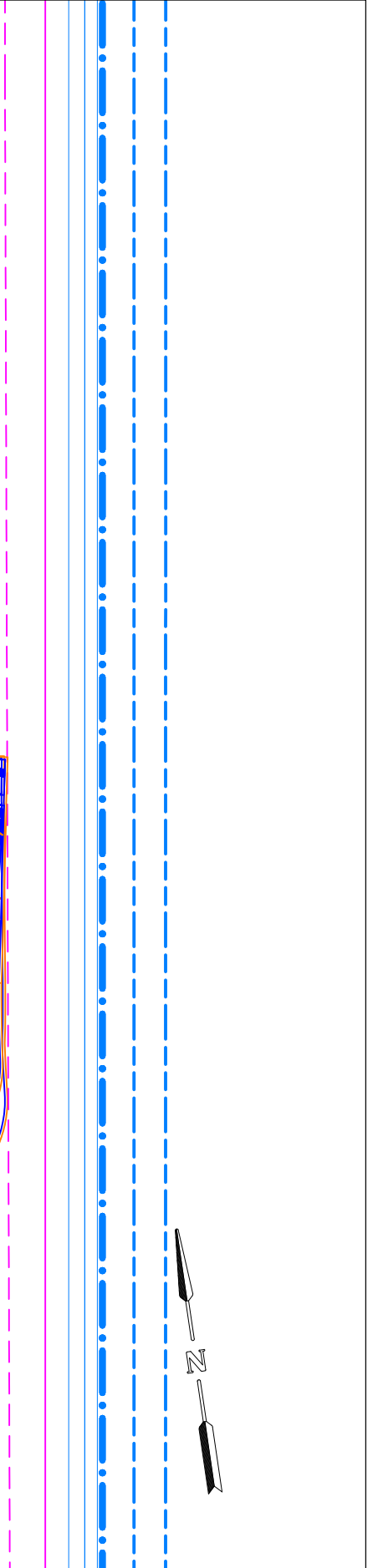
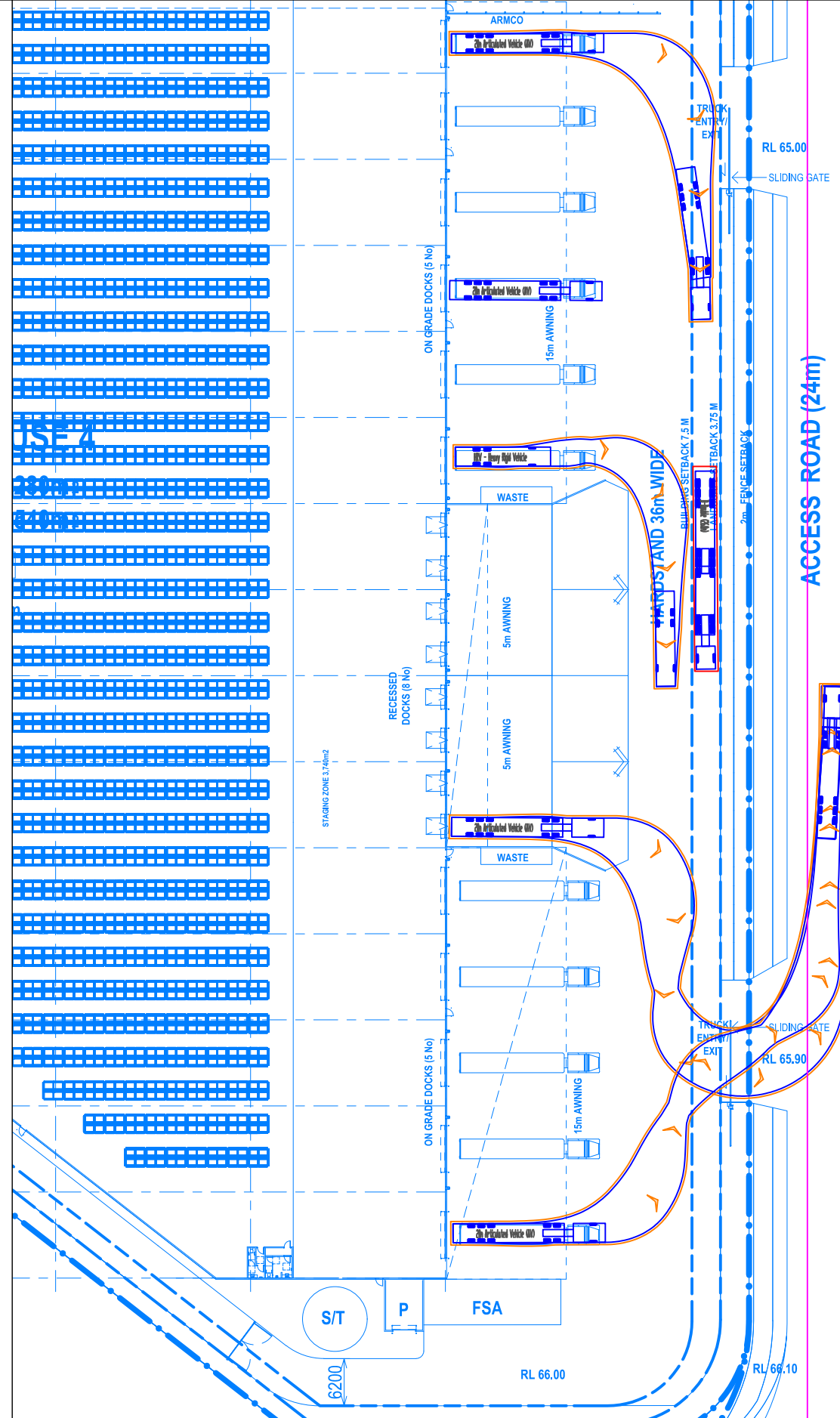
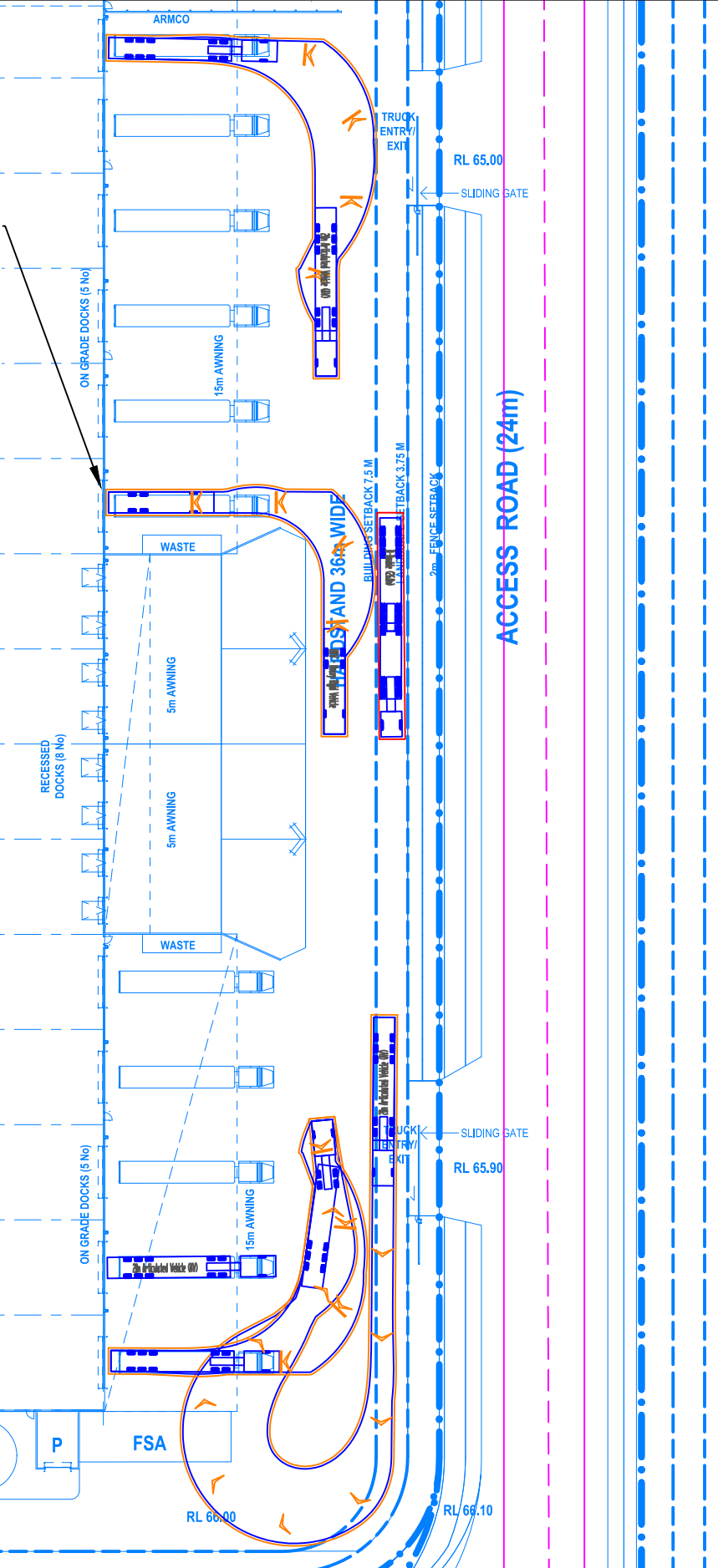
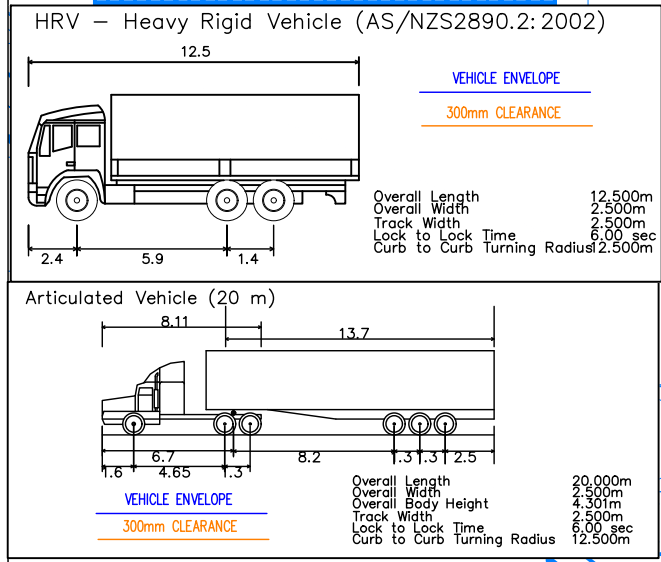
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**ISSUE - DUE TO HARDSTAND LENGTH DECREASE 20m AV CAN NO LONGER ACCESS THE LOADING DOCK WHILE B-DOUBLE UNHITCHING AREA IS IN USE**  
**SOLUTION - RESTRICT LOADING DOCK ACCESS TO HRV AS LARGEST VEHICLE**



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 Base Plan prepared by Nettletontribe, received 10.12.2023.  
 Swept path assessments completed at 10 km/h and 300mm clearance.

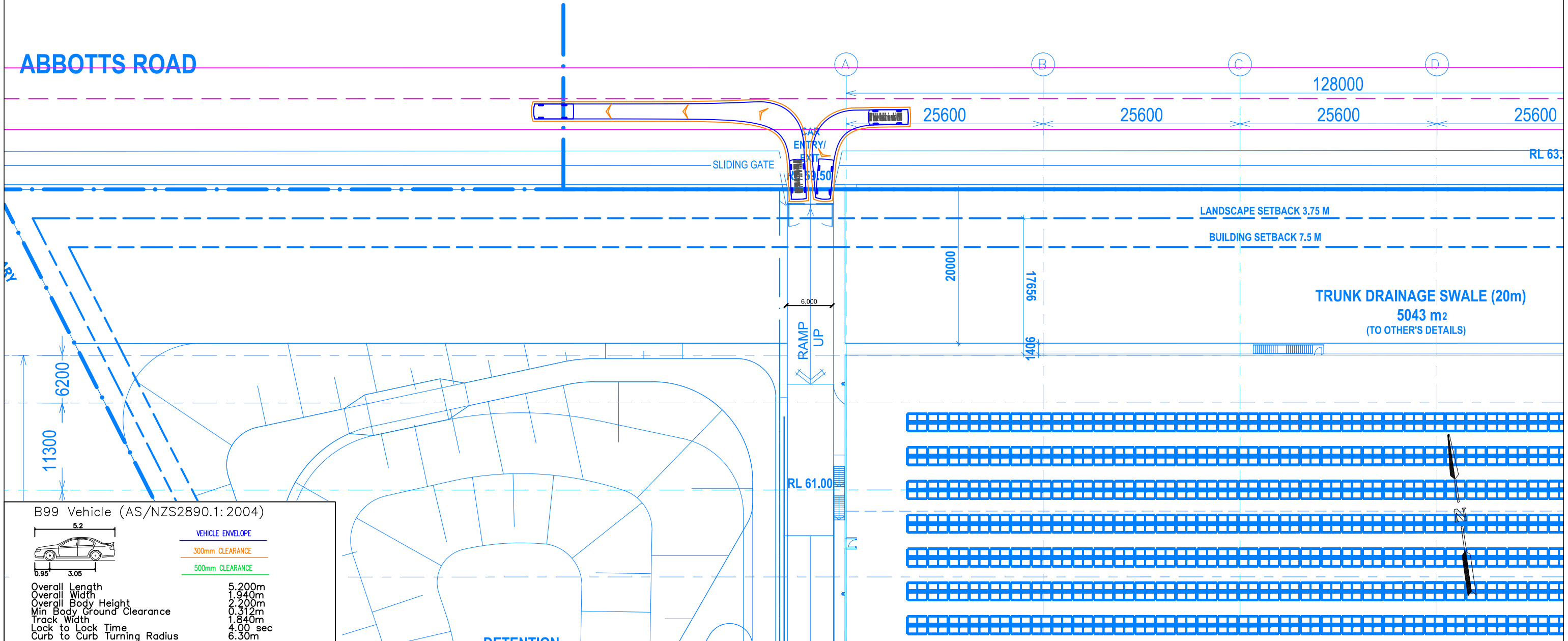
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APPROVED BY X.XXXX	DATE 19.12.2023	PROJECT 1323
SCALE 1:750	NTS	Abbots Road, Kemps Creek

DOCUMENT INFORMATION	
SWEPT PATH ANALYSIS	
DOCKS ASSESSMENT	
FILE NAME AG1323-04-v08.dwg	SHEET AG04

  
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# ABBOTTS ROAD



**B99 Vehicle (AS/NZS2890.1:2004)**

VEHICLE ENVELOPE	
Overall Length	5.200m
Overall Width	1.940m
Overall Body Height	2.200m
Min Body Ground Clearance	0.312m
Track Width	1.840m
Lock to Lock Time	4.00 sec
Curb to Curb Turning Radius	6.30m

— 300mm CLEARANCE  
— 500mm CLEARANCE

**GENERAL NOTES**

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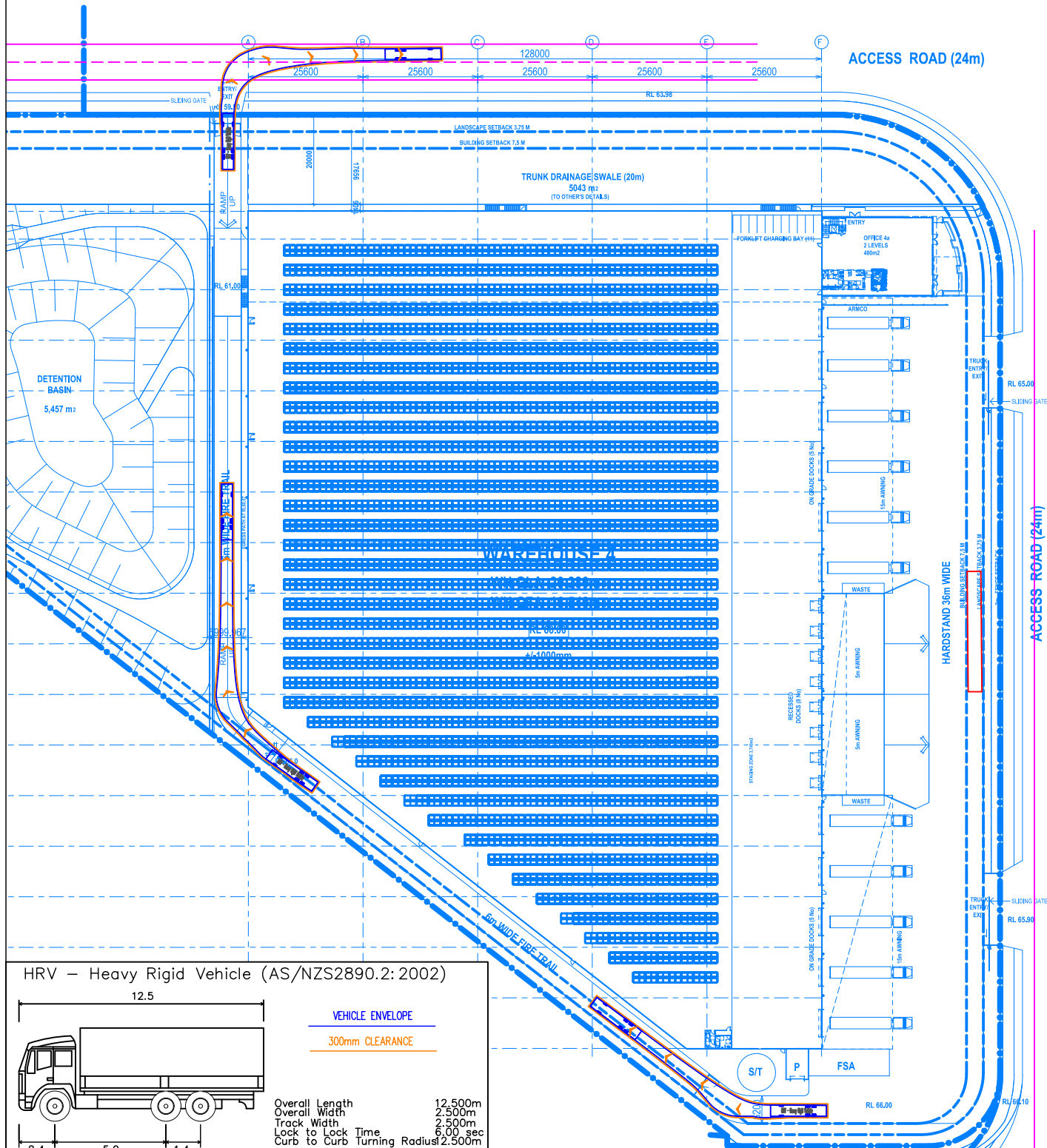
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APPROVED BY X.XXXX	DATE 19.12.2023
SCALE 1:500	0 5 10

CLIENT ESR Group	PROJECT 1323 Abbotts Road, Kemps Creek
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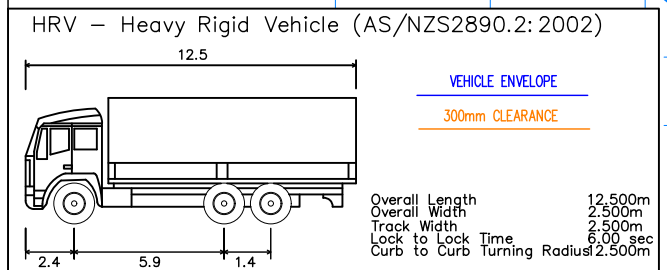
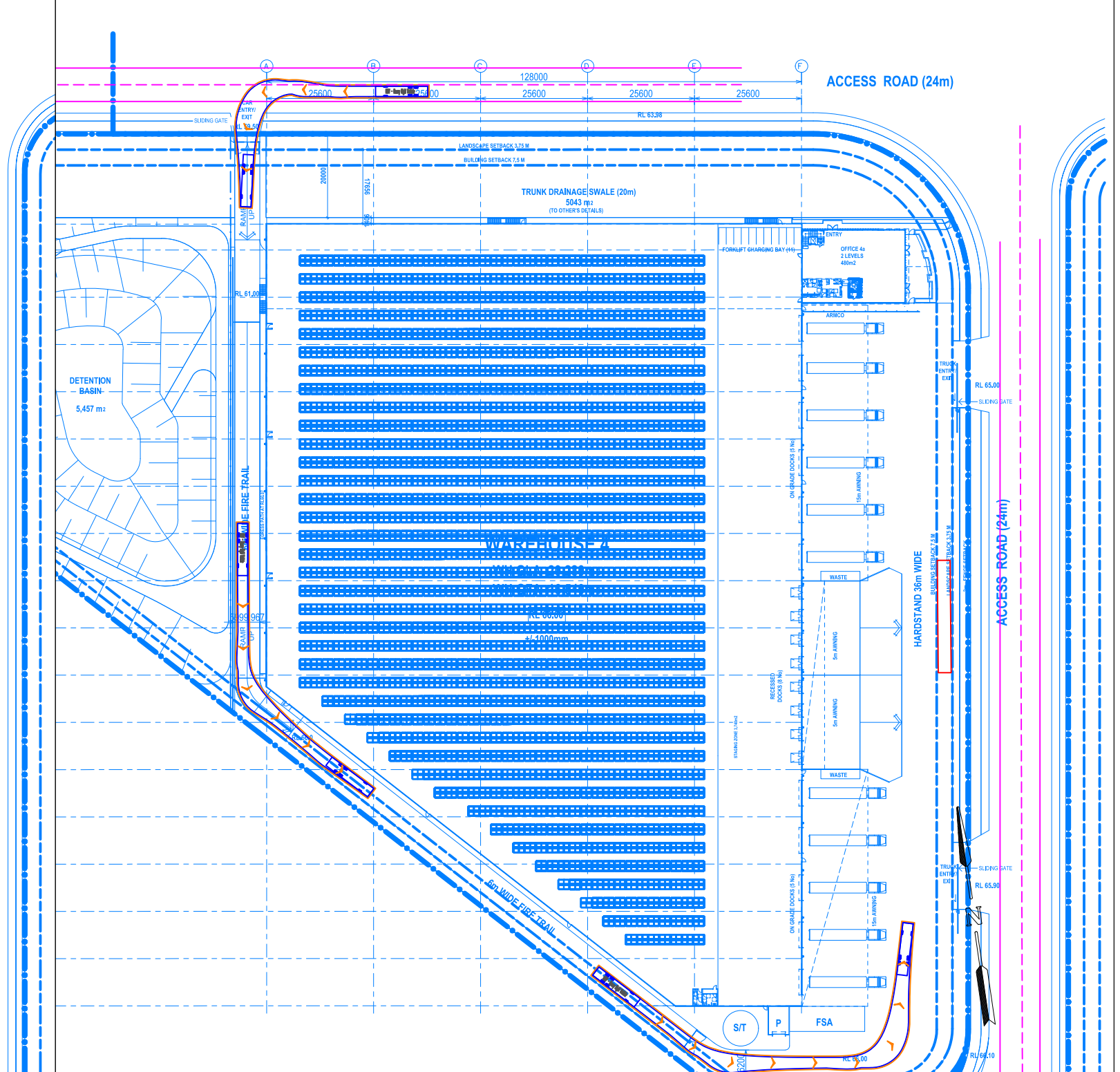
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CAR PARKING ACCESS ASSESSMENT	
FILE NAME AG1323-04-v08.dwg	SHEET AG05

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# CLOCKWISE



# ANTI-CLOCKWISE



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APPROVED BY X.XXXX	DATE 19.12.2023	PROJECT 1323
SCALE 1:1250	NTS	Abbots Road, Kemps Creek

<b>DOCUMENT INFORMATION</b>	
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FIRE ACCESS & CIRCULATION ASSESSMENT	
FILE NAME AG1323-04-v08.dwg	SHEET AG06
Suite 17.02, Level 17, 1 Castlereagh St Sydney NSW 2000 info@asongroup.com.au	